



Over Hulton Neighbourhood Plan, 2021-2037

The Story of Over Hulton



Over Hulton Neighbourhood Forum

Submission version Neighbourhood Plan: July 2022



Local 'birdlife' in Over Hulton, including the Willow Tit (above left) which is threatened by loss of habitat in the UK, but thriving in Cutacre Park and the wider area around Over Hulton, and the Nuthatch (above right).

“After all these years the Hulton Park Estate is still breathtakingly beautiful, there are not many walks in Bolton that take you into such tranquil surroundings”

- Over Hulton resident

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What is this document?

This is the submission version of the Over Hulton Neighbourhood Plan. It covers the neighbourhood area approved by Bolton District Council in 2017, as illustrated in Figure 1, and establishes policies in relation to land use and development over the period to 2037. This timeframe aligns with the new development plans being prepared by Bolton Council and the Greater Manchester Combined Authority. Neighbourhood Plans are intended to give residents the power to develop a shared vision for their neighbourhood, and to further shape the development and growth of their local area.

The Neighbourhood Plan, upon approval at referendum, forms part of the Borough development plan and carries equal legal status to the Local Plan prepared by the local planning authority. This means the Neighbourhood Plan is given statutory consideration for applications regarding planning matters.

The Plan is laid out in two main sections. The first (Part 1) tells the story of Over Hulton, the memories, everyday struggles, and dreams of those residing in the village, and the specifics of how a neighbourhood plan is informed by and will address these topics. The second (Part 2) takes this context and establishes policies in relation to sustainable growth, housing and local character, local facilities and community, transport and communication, and landscape and environment.

Policies are set out in the Neighbourhood Plan in red shaded boxes. These are to be used to inform and determine planning applications. A set of projects are also identified. These are wider initiatives that do not require planning permission but are related to future change in the area and which the community would like to see delivered. Indeed, contributions made through the development process may help deliver these projects.



Figure 1: Over Hulton Neighbourhood Plan Area

Foreword

Thank you for taking the time to read this Plan.

It is a vision for a protected village life and aspirational rural setting with enhanced access to the surrounding natural infrastructure which makes up our home. The character of our area must be maintained so that, no matter what the future holds, the Over Hulton of 2037 remains an appealing place to live and work in.

It tries to capture the desire by residents that the Over Hulton area and village will continue to be a rural community with recognisable centre, the economy will be agricultural with a mix of local based businesses and with the opportunity for the growth of home based businesses and home working using modern technologies to provide these opportunities.

It seeks to establish a framework within which our village can enhance its sense of place and an area that the numerous local volunteers, who contribute so much, can be rewarded for their efforts with a nicer place to live for them and their families.

Thank you to those residents and local volunteers who have given so much time to their community and in the formulation of this Plan.

Committee

Over Hulton Neighbourhood Forum

Part 1:

History, hopes and dreams



“I used to play up there when I was a kid. We could access the park via [the] Pretoria Pit site, and in via a huge lake.”

- Over Hulton Resident

1. Preface - Once upon a time...

- 1.1. **A** long time ago, before you or I, [the narrator] was born, there lived a wealthy family who owned a substantial amount of land. This family was known as the Hulton family, and their land was the Over Hulton Estate. The story of Over Hulton, its beginnings, its memories, its dreams for the future, start from this estate, and unfold over a period of almost 1000 years.
- 1.2. 'How did this family own so much land?', you might wonder. The answer was coal. The Hulton Park estate had considerable deposits of this, buried deep beneath the earth. Coal was mined by workers to warm homes, move trains, and provide an income for the wealthy Hulton family. As more coal was mined, more workers moved to the area, and the more workers moved to the area, the larger the settlement became.
- 1.3. The original settlement of Over Hulton was concentrated around Four Lane Ends - the junction of Manchester Road and Newbrook Road – with residents also on Newbrook Road south, towards Manchester. But quickly, the town grew. A tramway opened in 1902, connecting Lowton and Leigh (to the south) through Atherton and Four Lane Ends toward Bolton in the north. Over time, the settlement structure of Over Hulton extended along Manchester and Newbrook Roads, connecting with the growing settlement of Atherton to the south.
- 1.4. Over generations, the Hulton family invested considerable wealth into Hulton Park, which became known as the crown jewel of the settlement. Hulton Hall was improved and significant landscaping works were undertaken to create a typical example of a park in the English landscaping tradition. Though the workers toiled each day below the earth, the calming presence of the park ensured the village was at peace at the end of every shift.
- 1.5. One winter day, disaster struck. It was 21st December 1910, days before Christmas. The previous day, a roof had collapsed in the mine, causing a build-up of gas. At 7:50am, as the miners started a days' work, there was a massive explosion. A total of 344 men and boys lost their lives that day, the second worst mining disaster in British history.
- 1.6. This disaster would foreshadow what was to come in the next century. The fortunes of the Hulton family declined throughout the 1900s, as the want for coal decreased year after year. The tramway was closed in 1931, and Hulton Hall itself was demolished in 1958. Many of the park's original and historic farm buildings fell into decline.



Figure 2: The Pretoria Pit Disaster, 1910

- 1.7. While industry floundered, however, the settlement still grew. Over Hulton began to expand into the former area of Hulton Park around the south-west of Four Lane Ends. The settlement gradually expanded to the east and west of Newbrook Road, until soon it looked like it does today. With more households and people, came more traffic, more movement, more bustle. In 1970, the M61 motorway was built to the north of Hulton Park. A new industrial park, the Cutacre/Logistics North Estate, was built to the east of the settlement in 2016, providing a modern-day equivalent of the coal mine from ages past, and is still being built out today.
- 1.8. But with all this expansion, all this bustle, what had happened to the park? What had happened to the tranquillity? Would Over Hulton ever be the same again?

Here begins our story.

The Story of Over Hulton.

A Neighbourhood Plan.

2. Introduction to the Neighbourhood Plan

- 2.1. Neighbourhood Plans are designed to give local people and businesses a much greater say in how the places they live, and work, should change and develop over time. Neighbourhood Plans must be prepared in line with national guidance and legislation including the Localism Act (2011), the Neighbourhood Planning (General) Regulations (2012), the Neighbourhood Planning Act, the National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG). Neighbourhood Plans must be in general conformity with the strategic policies of the development plan, which in Over Hulton’s context is written and maintained by Bolton District.
- 2.2. Plans from Bolton District which affect Over Hulton, and which the Neighbourhood Plan must be in conformity with are shown in Table 1. Meanwhile, Figure 4 shows the stages a Neighbourhood Plan must go through before it is ‘made’ and carries weight in planning decisions.

Document	Type of Policies	Status
Bolton Core Strategy (2011-2026)	Strategic	Adopted in 2011
Bolton Allocations Plan	Development Management	Adopted in 2014
Bolton Local Plan (2022-2037)	Strategic and Development Management	On Hold
Greater Manchester Waste Plan	Strategic	Adopted in 2012
Greater Manchester Minerals Plan	Strategic	Adopted 2013
Greater Manchester Places for Everyone Plan	Strategic and Development Management	Subject to formal consultation in 2021, with examination hearings due to commence in October 2022

Table 1: Development Plan Documents of relevance to Over Hulton



Figure 3: Bluebell Woods, Hulton Park

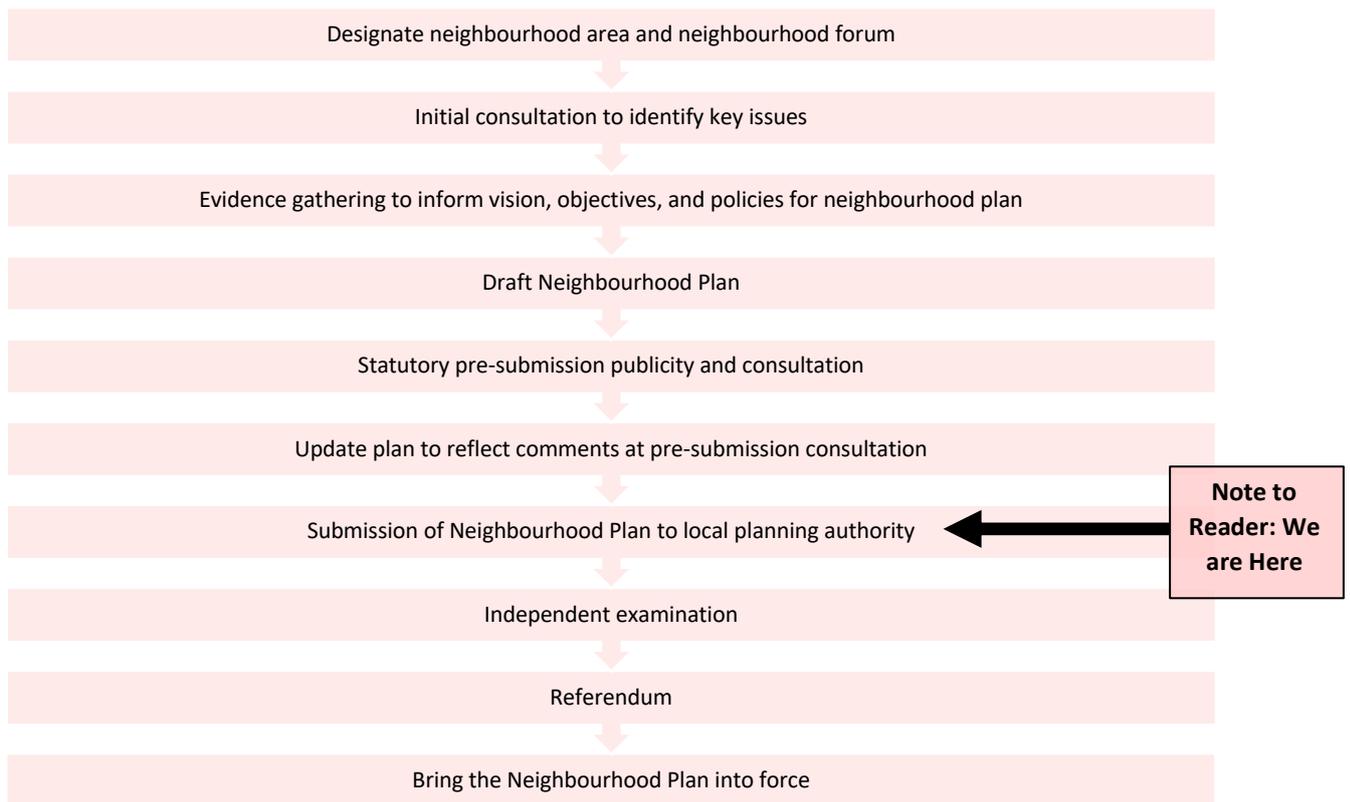


Figure 4: The Neighbourhood Planning process

- 2.3. Following formal consultation on the Plan ('Regulation 14') in 2021 it has been updated as appropriate to reflect feedback and has now been submitted to Bolton District Council for independent examination to ensure it complies with the relevant statutory requirements. At this time, Bolton, as local planning authority, must also publicise the Neighbourhood Plan for a minimum of six weeks, invite representations, and notify any consultation body referred to in the consultation statement.
- 2.4. Following review by the examiner and the local planning authority, a referendum will be organised, where all people of voting age residing in the neighbourhood forum can cast a vote on whether they think the Neighbourhood Plan should be brought into force ('made'). If more than 50% of all people who turnout vote in favour of making the Plan, then it will be 'made' and become part of the suite of planning policies used by Bolton District Council to help shape and determine planning applications in Over Hulton.
- 2.5. Notwithstanding the defined period of the Neighbourhood Plan to 2037, it is recognised that, with further changes to and upcoming review of the Local Plan, the Neighbourhood Plan will need to be reviewed periodically. This will enable the Neighbourhood Plan to remain 'current' and in conformity with the Bolton Development Plan and National Planning Policy Framework.

- 2.6. In parallel with the preparation of this Neighbourhood Plan, a planning application was submitted in 2017 for the development, at Hulton Park, of up to 1,036 houses/apartments with associated local landscaping, public open spaces and a local centre; a championship golf course capable of hosting the Ryder Cup and other major golf events; a hotel complex with conference, spa facilities, restaurant and car parking (142 bedrooms and 150 parking spaces) on the former Hulton Hall site; a golf academy with six-hole practice course, driving range, adventure golf course, academy clubhouse comprising retail facilities, administrative offices and car parking (150 spaces); restoration and renovation of key historic features of Hulton Park; and a new underpass beneath the A6 providing vehicular and pedestrian access from the A6 to the Golf Course and Academy. The Application was initially approved by the Secretary of State approved on the condition that it should only proceed if the 2031 or 2035 Ryder Cup is awarded to the golf course, and that any development would not commence until such a time as the Ryder Cup has been awarded. Following submission of proposed revisions to the scheme it has since been rejected by Bolton Council.
- 2.7. The policies in the Neighbourhood Plan are intended to guide any future change and development in Over Hulton, whether that is in Hulton Park or elsewhere in the village, such that it responds to and reinforces the character of the existing village and reflects the aspirations of the local community.



Figure 5: View across the western fields towards the A6

“I spent many days camping in the 70s and learning to canoe with 12th Atherton scouts, (and let me say, proud to be a cub and a scout). When we were 15 in the summer holidays, we camped for 3 weeks in Hulton park walking down into Atherton to replenish our provisions and to let our parents know we were fine. We had no leaders, we had respect for the surroundings, these skills instilled in us from the scouting movement.”

- Over Hulton Resident

3. Memories and Dreams

- 3.1. Over Hulton was designated as a neighbourhood forum in 2017, and following this, the residents of Over Hulton started to dream big. This was a once in a decade opportunity to shape the community they lived in and provide a vision and framework for future growth.
- 3.2. From 2017 through to 2020, a series of meetings and workshops were held, exploring the future of Over Hulton and how we, as a community, would like that to be. These included the original formation of the Neighbourhood Forum in March 2017, a logo competition held with pupils of St. Andrews CofE Primary School, a Town tour, surveys and workshops with residents and local businesses.
- 3.3. Some wanted the vision to focus on the businesses in Over Hulton, which had served the community admirably for years. Others wanted to tackle the climate crisis, to ensure their children and grandchildren could live in a more stable world. Some wanted to maintain the historic character of the village and ensure that the story of the Hulton Estate was passed down through the generations. Others simply wanted to grow old in the village they loved, without having to worry about their basic needs not being met.
- 3.4. A series of supporting documents are set out to support the production of the neighbourhood plan. These documents are:
 - A Baseline Assessment
 - A Character Area Assessment
 - A Design Guide and Codes
 - A Business Survey
- 3.5. The neighbourhood plan became a focal point for the community. Talks were had on transport, cycling, design, schools, and community facilities; they were had over tea, over coffee, over breakfast, lunch and dinner. Every conversation was important, not just the ones that took place in large workshops. Every piece of input informed the first stage of the plan. From these conversations, as well as more formal consultations and workshops, the following **key issues** in Over Hulton were identified:
 - The lack of community and leisure facilities which are well connected or responsive to local need/demand
 - The high levels of private vehicle use, which are resulting in congestion, traffic air and noise pollution
 - The private vehicle dominated layouts of streets and culs-de-sac, and insufficient infrastructure to support alternative modes of transport such as cycling and walking
 - The lack of connectivity from Over Hulton to nearby settlements, landscape areas, and green spaces
 - Recent development in the area where the materials palette did not reflect the historic buildings in the local area
 - The lack of affordable housing for first time buyers

3.6. At long last, the residents, businesses, and the general community of Over Hulton settled on a vision that all could agree on.

VISION

By 2037, the settlement at Over Hulton will maintain sustainable patterns of development through conserving and enhancing the qualities of the built, natural and historic environment by promoting green infrastructure connectivity for humans and wildlife and ensuring new development reflects the areas distinctive qualities, historic characteristics and settlement pattern.

Opportunities to support the local economy and meeting the needs of the local community will have been optimised through the retention of and appropriate expansion of, existing services and community facilities. Support for local enterprise and job creation will be commensurate with the characteristics of the area.

Over Hulton will demonstrate its contribution towards meeting the challenge of climate change through high-quality design, support for sustainable travel and taking fullest possible advantage of opportunities to live work and study.

Over Hulton will respond to meet the changing needs of households by promoting appropriate opportunities to adapt and make best use of the existing housing stock, supporting sustainable residential development within the built settlement of Over Hulton.



Figure 6: Hulton Hall before demolition in 1958 – understanding our past helps inform our future

Objectives

3.7. The vision is a dream for a better Over Hulton. To ensure the dream does not simply disappear with time, a set of objectives has also been established, and each objective related back to at least one part of the vision. The objectives are thus:

1. Promote and encourage enterprise that complements the character of the area, sustains the local economy, supports increased employment within Over Hulton and capitalises on links with other opportunities nearby.
2. Support the retention and enhancement of community facilities and their role in providing for community cohesion and opportunities for recreation.
3. Maintain and enhance the attractiveness of opportunities to meet day-to-day needs within the settlement and support the prosperity of existing provision on key points and routes within and through Over Hulton.
4. Conserve, enhance and promote the built heritage contained within the settlement at Over Hulton and celebrate its contribution towards local character.
5. Optimise the use of existing walking and cycling routes within the neighbourhood area and seek opportunities to promote and improve connectivity with green infrastructure.
6. Support opportunities for development that minimise trips by private car for employment, education and leisure.
7. Identify and enhance the qualities Over Hulton's surrounding landscape by promoting beneficial use of the Green Belt and through ensuring future development preserves the contribution that public access, key routes and use for recreation make to the significance and setting of Hulton Park Registered Park and Garden.
8. Ensure that new development contributes to local character through good design, enhancement of the street-scene and maintaining and enhancing the qualities of the built environment and public realm associated with Over Hulton's settlement pattern.
9. Support opportunities for new development within the existing built settlement where this would make more effective use of previously developed land and optimise the use of existing plots where compatible with its surroundings.
10. Support and maintain the provision of primary school facilities within Over Hulton with spaces for all primary school age children living within the neighbourhood area.
11. Promote development that mitigates the impact of climate change and supports the use of renewable resources.

3.8 From these objectives and visions flow policies and projects which, as the forum and residents know, will be used to guide the development of the neighbourhood area. The interrelations between these objectives, the vision of the plan, and the plan's policies are shown in Figure 7. Part 2 of this story presents those policies, and the community's aspirations for a better tomorrow.

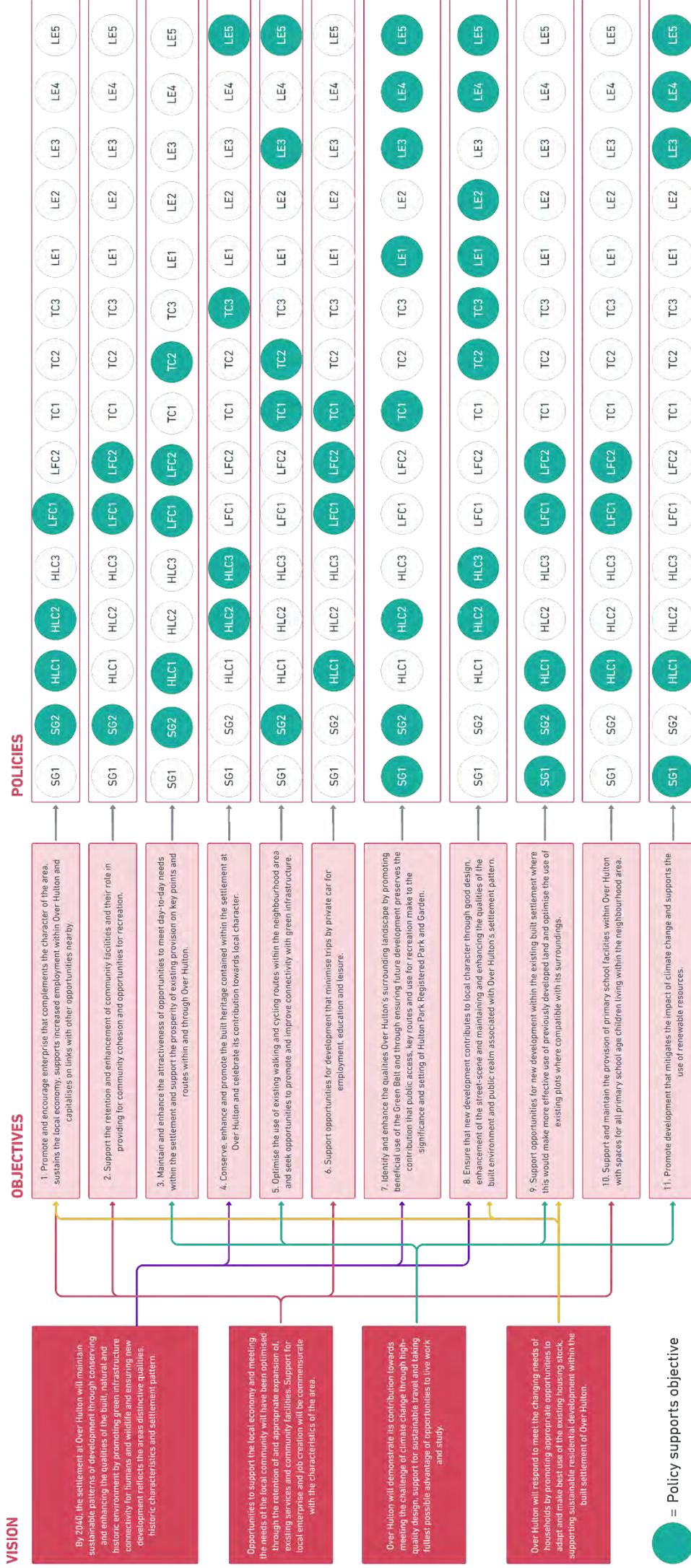


Figure 7: Relationship between the vision, objectives and policies in the Neighbourhood Plan

“It [Hulton Park] was like playing in someone’s big back garden.”

- Over Hulton Resident

Part 2:

Policies and projects for future change



4. Sustainable Growth

DIRECTIONS OF GROWTH

Policy SG1: Location of Growth

1. Any future development within Over Hulton must prioritise the regeneration and intensification of the existing settlement, through infill and redevelopment of local brownfield land, before considering development within greenfield sites.
2. Developments which prioritise densification through the use of brownfield sites, or the use of gentle infill, including secondary residential units located atop garages, or garden suites, shall be supported.
3. All infill development shall adopt the scale, density and grain of the neighbourhood context and homes should not block views nor routes (even informal) from the village to the surrounding countryside.
4. Any new residential development on sites adjacent to the M61 shall include a meaningful green buffer between the motorway and any proposed housing to attenuate noise and air pollution.

Justification

- 4.1. Over Hulton has a ribbon shaped settlement pattern, with most of its housing focused along Newbrook Road. This is consistent with a spatial vision outlined within the Bolton Core Strategy, which designates this part of Over Hulton as an 'urban area' and thus establishing a settlement boundary based on the defined urban area (Figure 8). Paragraph 119 of the National Planning Policy Framework (NPPF) states that "*planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions... [and make] as much use as possible of previously-developed or 'brownfield' land.*" Accordingly, new development is encouraged where it makes use of a 'brownfield-first' approach to development or promotes the effective use of land through infill within the settlement boundary.
- 4.2. Residents of Over Hulton further identified during engagement events that noise and air pollution from the M61 were key issues that they wished the neighbourhood plan to address. Figure 17 in Chapter 8 displays the noise pollution concentrated along the M61.

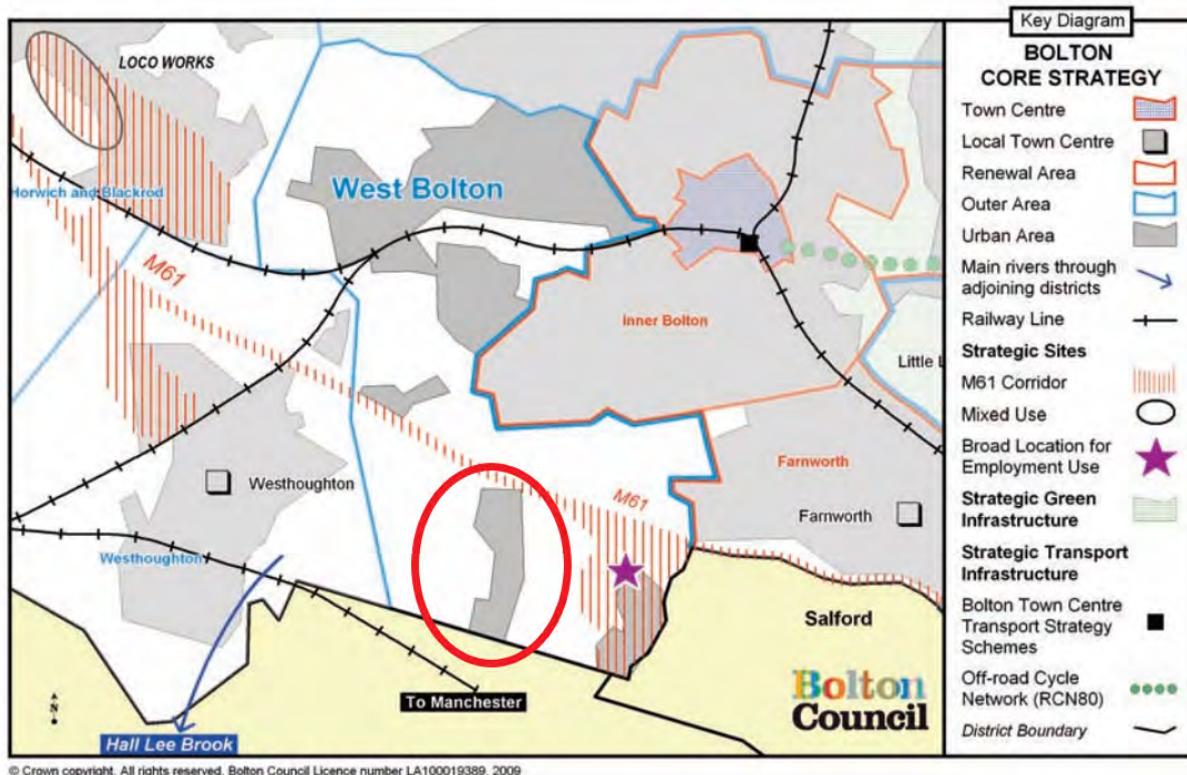


Figure 8: West Bolton extract from the Bolton Core Strategy Key Diagram, with Over Hulton highlighted within the red circle

LANDSCAPE AND THE GREEN BELT

Policy SG2: Landscape integration

1. Development in the Green Belt in Over Hulton will be subject to national policy and tests.
2. Development adjacent to the Green Belt, parklands and green spaces will be designed to retain access to those spaces. Development shall, wherever possible, provide active frontages onto such spaces as well as any public right of way that connects the development with the adjacent space. Development that improves and provides new connections to the surrounding landscape will be supported. Wherever possible, such connections should link into the existing movement network, particularly those that support movement by foot or bicycle.
3. A soft transition between the built form and landscape will be encouraged, supporting improvements to local biodiversity and views to the landscape from the existing built form. New areas of open space for use by the community, including creation of semi-natural and natural green spaces in these transitions areas will be welcome.
4. Areas of new landscaping and open space should respond positively to existing landscape character, reflected in topography, views and planting of native species.

Justification

- 4.3. Hulton Park has a demonstrated importance to those in the neighbourhood area, (as highlighted through the quotes interspersed throughout this plan), and is located in the Green Belt, as shown in Figure 9. Although Hulton Park is in private ownership, access to the park and surrounding landscape

is of great importance to the community, given the formal and informal connections through it, and access to wildlife and nature. Development should not incrementally 'close off' access to the green belt.

4.4. Paragraph 138 of the NPPF establishes five purposes for green belt land:

- a) to check the unrestricted sprawl of large built-up areas;
- b) to prevent neighbouring towns merging into one another;
- c) to assist in safeguarding the countryside from encroachment;
- d) to preserve the setting and special character of historic towns; and
- e) to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.



Figure 9: The Green Belt in Over Hulton

4.5. Green Belt boundaries should only be altered where *exceptional circumstances* are fully evidenced and justified, as highlighted in para 140 of the framework. The Green Belt Assessment for the Greater Manchester Spatial Framework ranks green belt parcels against each of the NPPF's purposes

above, to see whether these parcels are fulfilling their mandate and as such whether they would be sensitive to change (the stronger the performance, the greater the sensitivity). These are ranked on a four-point scale from 'strong' to 'no contribution.' The rankings of each of the parcels of Green Belt within the Over Hulton Neighbourhood Area are displayed in Table 2. This indicates that Hulton Park makes a very strong contribution to the purposes of the Green Belt. This is emphasised through the Grade II Listing of the Hulton Park Estate, and where any changes would need to consider both the tests of the Green Belt and impacts upon the heritage asset.

Site Number	Site Name/Allocation	Criteria 1	Criteria 2	Criteria 3	Criteria 4	Criteria 5
BT 48	Chequerbent Area (North of A6)	Strong	Moderate	Strong	Moderate	No Contribution
BT55	Hulton Park	Strong	Strong	Strong	Strong	Moderate
BT59	Cutacre Park	Strong	Strong	Strong	Moderate	Moderate

Table 2: Green Belt assessment rankings for land in Over Hulton

- 4.6. Paragraphs 5.35 and 5.36 of the Bolton Core Strategy define Over Hulton as an 'outer area' of Bolton, and states that in such areas of the borough, there will be constraints on most types of development, either because they are in the Green Belt or they will continue to be areas of Protected Open Land. This Neighbourhood Plan does not propose any changes to the extent or nature of the Green Belt in Over Hulton. It is recognised that much of Over Hulton is defined by its relationship to open space, particularly Hulton Park and Cutacre Country Park. Development adjacent to open spaces should contribute to the sense of place and quality of the open spaces. The National Design Guide (2019) identifies active frontages and natural surveillance as two characteristics of successful public spaces, including natural spaces. The Over Hulton Design Code¹ follows the principles set out within the National Design Guide and further identifies best design practice for Over Hulton. According to the design code, new developments should not be designed to physically 'round off' the existing village (therefore blocking access to the green belt), but instead allow for the penetration into the surrounding landscape from within existing settlement. Figure 10 shows an example of this for large-scale development.



Figure 10: Example of a development (Brookfields, Milton Keynes) integrated with and providing access to open space (source: Over Hulton Design Guide & Code, AR Urbanism)

¹ As outlined in chapter 2, this code was produced specifically for the Over Hulton Neighborhood Plan.

5. Housing, Design and Local Character

HOUSING TYPE

Policy HLC1: Housing Mix

1. Where major residential development of ten or more homes is proposed, the layout, mix and distribution of homes and tenure types should support the creation of integrated, cohesive communities. The proposed mix of housing should be informed by the most up-to-date assessment of housing needs published by Bolton Council and respond, as far as possible, to local needs within Over Hulton, including affordability, type and size of the units. Proposals which include affordable housing should ensure that the design is tenure blind. A proportion of all new homes shall be provided in line with the Governments First Homes Policy
2. The design of new residential development is encouraged to be inclusive, allowing for life-time accessibility and adaptability to suit the changing needs of occupiers. Any retirement homes or villages, old age homes, elderly care facilities, or other housing designed specifically for older occupants should be well-integrated within the wider neighbourhood and be designed in accordance with the principles established by HAPPI (Housing our Ageing Population Panel for Innovation).
3. All new provision of elderly housing should be located within easy access of Over Hulton's designated Village Centres, and ideally within a 400m walk of public transport services.
4. Adaptions to existing buildings to enable working from home, including the construction of garden studios, or the conversion of garages, will be supported. Construction of garden studios shall have consideration on their overlook of neighbouring properties, as well as potential acoustic disturbances. Use of a home for employment purposes should be ancillary to the main residential use of the building.
5. All development shall provide appropriate ducting to allow high-speed broadband connections to be made either at the time of construction or at a future date.

5.1. The NPPF and National Design Guide (2019) both specify the importance of providing a diverse array of housing types. Policy HLC1 provides a suggested method to understand the mixture needed and further instruction on how this mix should be provided within a new development of multiple homes.

5.2. Over Hulton contains a population with a high proportion of elderly people, as shown within Figure 11. Bolton's housing delivery plan identifies Over Hulton as an area that should be targeted for the provision of specialist homes for older people, given their percentage of 65+ year olds is the highest in the district. Engagement with the local community has established that residents do not wish to move from their homes or from the community in later years to seek other accommodation. It is therefore appropriate for housing to allow for ageing in place within the designated neighbourhood area in line with the principles of inclusive design outlined in Planning Practice Guidance², as well as those principles set out in the HAPPI report³ which are applicable to housing for elderly people and age-friendly places.

² <https://www.gov.uk/guidance/housing-for-older-and-disabled-people>

³ <https://www.housinglin.org.uk/Topics/browse/Design-building/HAPPI/>

5.3. Planning Practice Guidance notes that ‘*accessible and adaptable housing enables people to live more independently, while also saving on health and social costs in the future. It is better to build accessible housing from the outset rather than having to make adaptations at a later stage – both in terms of cost and with regard to people being able to remain safe and independent in their homes*’. In line with this, opportunities to provide flexible housing types that can be adapted over time in response to changing lifestyles and demographic patterns will be supported.

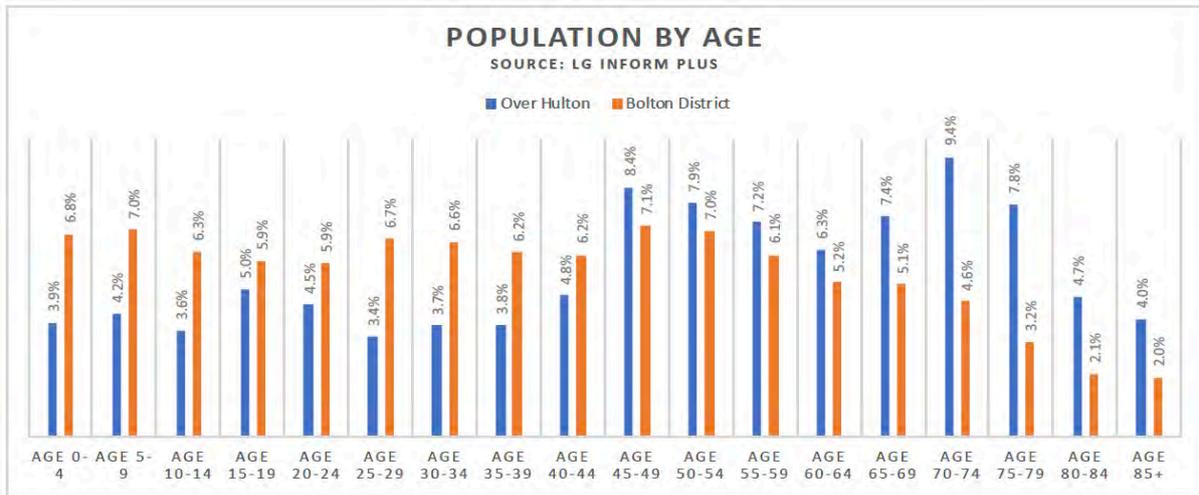


Figure 11: Population by age, 2018

5.4. The emergence of Covid-19 and the risk of future waves of it or other pandemics, highlights the need for suitable home working facilities. The National Design Guide (2019) states that “*well-designed private places, such as homes and gardens, are designed to be flexible to adapt to the changing needs of their users over time*” and references remote working as an example of such a flexible use. Over Hulton’s broadband speed, as shown in Figure 12 is very high, with speeds ranging from 30 – 70+ mbit/s. Accordingly, the provision of high-speed broadband connections within new development will preserve this village amenity.



Figure 12: Broadband speeds in Over Hulton (Source: CDRC Maps <https://maps.cdrc.ac.uk>)

DESIGN AND CHARACTER

Policy HLC2: Design Principles

Heritage and Character

1. Development will be in keeping with the character of Over Hulton. Accordingly, the following principles will apply to all development:
 - a. New developments shall promote the continuity of frontage and building lines where located along existing streets and address gaps in continuity where possible.
 - b. Private front gardens, where present, shall act as a pleasant transition between the street and home, and shall avoid large areas of hard landscaping.
 - c. New development within Over Hulton shall respect the setting of listed buildings, when adjacent, through use of high-quality designs and materials that integrate into the surrounding context.
 - d. New large developments shall seek to define new character areas of appropriate scale that adopt a coherent architecture and townscape that harmonises with the existing character of Over Hulton, and reinforces the relationship between the village and Hulton Park.
 - e. Where adjacent to an area of open space, parkland or natural area, either existing or proposed, new development should address that space with active frontages and allow for the retention of existing routes or provision of new routes through to the open space. The creation of unusable, left over spaces should be avoided.
2. Proposals will be supported where:
 - a. New development recognises the character areas identified within the Over Hulton Character Assessment, and responds sensitively and in line with the characteristics of the area the development is located in;
 - b. Contemporary and innovative approaches to design are brought forward, as long as they are of an appropriate scale, form, height and materials, and the heritage or character of the village are not negatively affected

Townscape and frontages

3. All development shall conform to the following design principles:
 - a. Blank walls and boundaries along key pedestrian routes, green open spaces, or at the terminus of streets, shall be avoided;
 - b. For semi-public and public buildings, main entrances shall be located on the public side of the street and should be obvious through architecture and lighting to aid legibility without relying on signage;
 - c. Service doors for non-residential uses shall be discreet as possible and not face directly onto residential streets;
 - d. The loss or removal of prominent chimneys on older buildings within Over Hulton will be avoided where possible.
 - e. New buildings shall be arranged to provide a sense of enclosure that gives form to streets and existing contexts;
 - f. Corner plots shall address both public sides of the building with active edges, including room windows and entrances, facing the public realm;
 - g. Illuminated shop signs, or striking colours that are poorly integrated and of divergent dimensions to surrounding signs will be avoided.

Justification

- 5.5. The achievement of high-quality design is a core principle of the NPPF. It states, at paragraph 126, that *“good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities”*. The importance of the design of the built environment and its contribution to making better places for people is emphasised. It states that *“Neighbourhood planning groups can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development”* (paragraph 127).
- 5.6. Through the preparation of the Neighbourhood Plan, both a Design Code and a Character Area Assessment for the area have been produced. The purpose of the Design Code is to raise an appreciation for Over Hulton’s existing village character, and to use this understanding to provide design guidance to strengthen and protect the village setting. Fundamentally, design policies aim to conserve and enhance the character and quality of the village’s built-environment and ensure contextually appropriate design.
- 5.7. The Character Area Assessment for Over Hulton identifies several character areas, shown in Figure 13. Certain unique features of each character area, as well as the pattern and scale of the dwellings, are identified below, while more information is located within Appendix B.
- 5.8. The NPPF states that planning policies and decisions should take local circumstances into account, to reflect the character, needs and opportunities of each area. Planning Practice Guidance, on when planning permission is required, states that structural alterations, particularly those that materially affect the external appearance of a building, will require planning permission (Para 1). Accordingly, policy HLC2 provides clarity on the character that is to be reflected by new development and protect the existing character of the settlement and the external appearance of existing buildings.
- 5.9. The achievement of high-quality design is a core principle of the NPPF, and a design-led response to development, referencing good practice principles, as laid out in the National Design Guide (2019) will help create successful places.

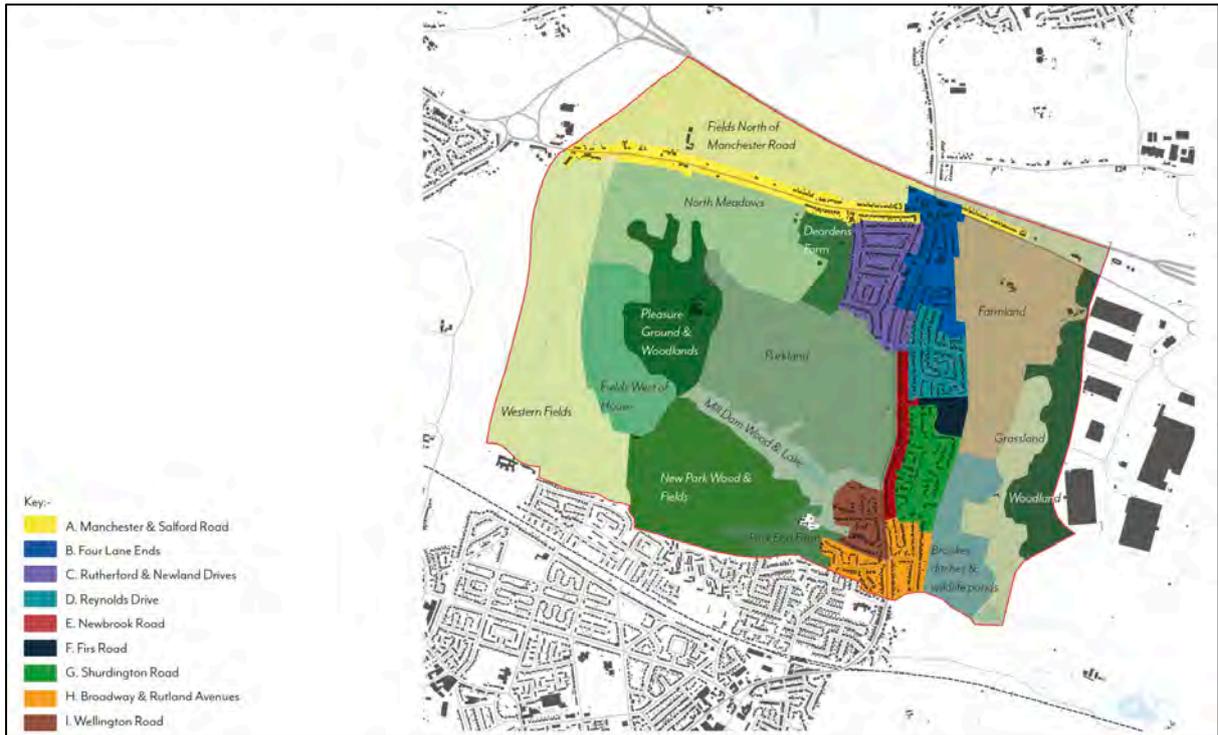


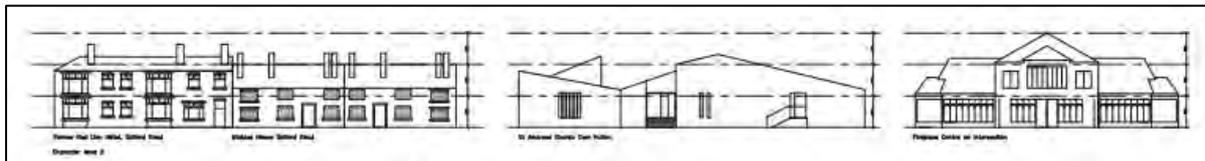
Figure 13: Character Areas in Over Hulton

Character Area 1 (Manchester and Salford Road)



5.10. The area is made distinctive by its inter-war bungalows while the western section of the Manchester Road character is made up of low rise building of no more than two storeys in height. There are strong frontages that address the road, and low boundary walls and hedge planting. Predominant features include the eaves at the front of rooves, chimneys, and sash windows with stone lintels. Materiality is a mixture of local stone and clay bricking.

Character Area 2 (Four Lane Ends)



5.11. The area is made distinctive by its commercial properties within the settlement. Pre 1900s buildings are composed of solid limestone walls and post-war properties include a materials palette of brick and white render. Distinctive features include predominant chimneys and, in pre-war buildings, sash windows with stone lintels.

Character Area 3 (Rutherford and Newland Drive)



5.12. The area is made distinctive by its predominantly post-war housing with a mix of bungalow and two-storey developments. Strong frontages are defined by front gardens and defensible space between the plot and the carriageway. Building heights tend to reduce in pattern the further towards Hulton Park they are. Some distinctive architectural features include prominent chimneys, and (where on a corner lot), low rise hedges with gardens which helps retain the soft connection between the carriageway, the dwelling and the adjoining park. Brick with portions of roughcast render is the predominant building material in the area.

Character Area 4 (Reynolds Drive)



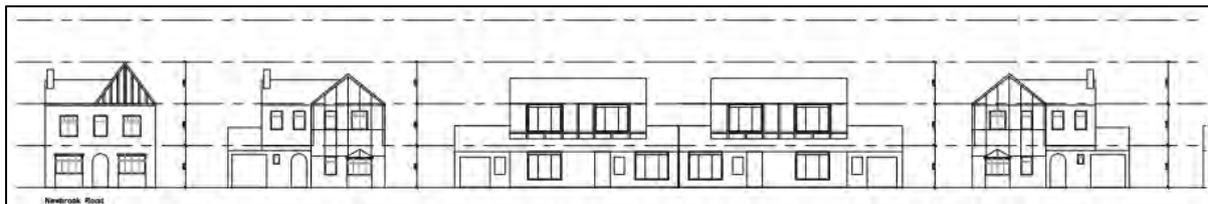
5.13. The area is a predominantly post-war bungalow development. Off-street parking is provided on the plot, but is done to the side of the property, rather than in front of the property, so the street scene is uninterrupted. Building heights are all one and a half-storey, with a few buildings that have been extended. Distinctive architectural features are chimneys (which frame the street scene), symmetrical facades, and defined outlines of pitch and massing. A variety of brick, stone, and roughcast render are the predominant building material in the area.

Character Area 5 (Newbrook Road)



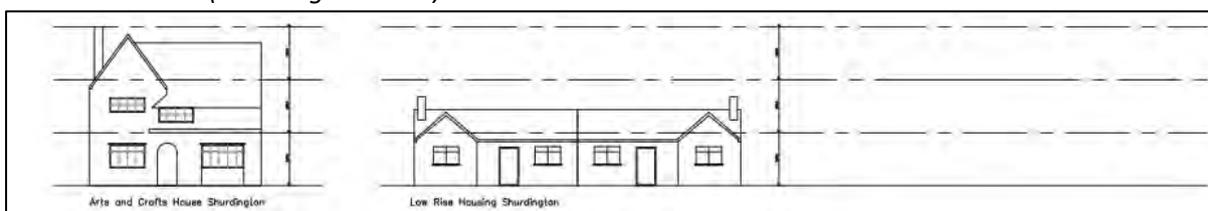
5.14. The area is distinctive because of its views over Hulton Park. It is predominantly 1950s housing, with large front gardens, and homes situated on a raised elevation, which helps to separate the properties from the road. Materials, including brickwork, masonry lintels and window heads, including the bay window along with the painted half-timber gable end in a faux-Edwardian style, are very distinctive. Architecturally distinctive features include the variance in massing and façade composition, the prominence of the Chimney, and the Large bay windows in the façade to maximise the views.

Character Area 6 (Firs Road)



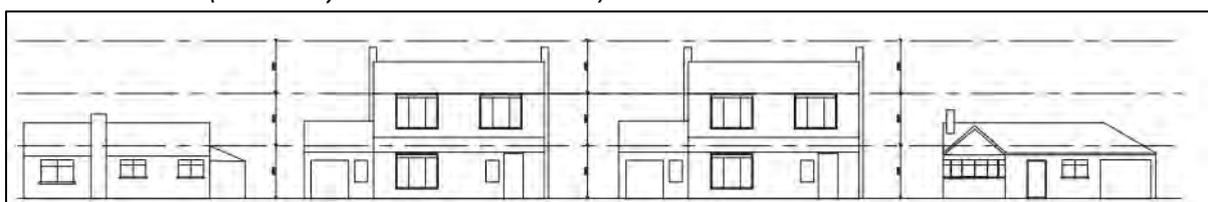
- 5.15. The housing character of this area is made distinctive by a number of features including half-timbering to the gable, casement windows, and asymmetrical façades. Prominent chimneys and the steep pitch of the gable are also defining features. Most houses in this area benefit from large rear gardens. The fluency between the road, garden and dwelling is open, with soft boundaries separating the plots from each other, but not from the street scene. Brick with portions of render and half-timbered gables are the predominant building materials in the area.

Character Area 7 (Shurdington Road)



- 5.16. The area is a post-war suburban expansion which encroaches upon Cutacre Park. Building heights decrease the closer they are to the park and the further they are from Newbrook Road. Buildings are defined in the style of the Arts and Crafts movement, and specific distinctive features of this include defined outlines of pitch and massing, varying between the low-rise bungalows on the Eastern side, to the larger two story villas to the west; prominent chimneys on two storey villas, which anchor the elevation. Materials include a variety of brick, stone and render.

Character Area 8 (Broadway and Rutland Avenues)



- 5.17. Character area 8 is made up of a variety of low-rise bungalows and two story detached and semidetached dwellings. These buildings respect the open space of the adjoining Hulton and Cutacre Park(s) respectively and do not disrupt the views across the landscape. Distinctive architectural features include the defined outlines of the pitch and massing between low-rise bungalows and two-storey villas. Brick with portions of roughcast render are the predominant building materials in the area. There are intermittent buildings with stone and render mix facades, but these are a minority.

Character Area 9 (Wellington Road)

- 5.18. Character area 9 is made up of a variety of low-rise bungalows and two story detached and semidetached dwellings, which respect the open space of the adjoining Hulton Park and does not disrupt the views across the landscape. Distinctive properties of houses in the area include brick, slate roofs and sectioned glazed sash windows. The two storey villas have prominent chimneys which anchor the elevation, however the low-rise bungalows do not.

Policy HLC3: Materials

1. New buildings shall reflect the existing material palette of Over Hulton, as described in the Over Hulton Character Assessment and Design Code, and ensure that material choices are appropriate; developments are encouraged to the use natural and local materials to reinforce a sense of place while encouraging sustainability. Local materials include sandstone, limestone, clay bricks, and natural (Welsh) slate. Where not locally sourced, materials should match as closely as possible to the local palette.
2. Use of specific materials indicated as representative of Over Hulton shall be subject to the following design coding:
 - a. Where sandstone walling and masonry is specified, selections will reflect local geological characteristics as highlighted in Historic England’s Building Stone Atlas of Greater Manchester (2017). Sandstone walling shall follow existing patterns of use in Over Hulton, feature regular coarsing and warmer colours.
 - b. Where clay bricks are specified, it will reflect existing patterns within Over Hulton, which feature predominantly darker red brick types, in regular courses. Sensitive articulations of facade, through ornamental brickwork such as simple brick bands and friezes, has precedence in the local area and shall be permitted when in keeping with local characteristics.
 - c. Rough render is a characteristic finish within Over Hulton. Where render is specified, it shall follow a rough texture common within Over Hulton, and be of pale colours such as white, off-white, and light yellow, in line with existing patterns of use. The use of rough render will complement and contrast with the use of brick where possible, to provide townscape interest and quality. Render materials specified must consider long term maintenance and how the finish will weather in time.
 - d. Where slate is specified for roofing, walling and masonry, it will reflect existing patterns within Over Hulton, which features both regular roofing tiles, as well as larger block used in irregular courses for walling and boundaries.

Justification

5.19. Four main materials for Over Hulton were identified within the Design Code, as specified in policy HLC3, and their predominance in each of in Over Hulton’s character areas is shown in Table 3.

	Sandstone and Limestone	Clay Bricks	Rough Render	Slate
Character Area 1				
Character Area 2				
Character Area 3				
Character Area 4				
Character Area 5				
Character Area 6				
Character Area 7				
Character Area 8				
Character Area 9				

Table 3: Materials found in the Character Areas in Over Hulton

5.20. Key example of these materials within Over Hulton can be found at the locations below (Figure 14):

- Sandstone and Limestone - the Red Lion Hotel by Four Ends Lane.
- Clay Bricks - St Vincent's Roman Catholic Church.
- Rough Render – Numerous residential buildings.
- Slate - boundary walls of Hulton Park Estate.

5.21. A design-led response to development, responding to the materiality of each character area will help create successful places, as laid out in the National Design Guide (2019).



Red Lion Hotel (Limestone and sandstone walls, and slate roofing)



St. Vincent's Roman Catholic Church (Clay bricks)

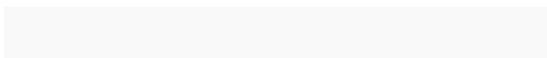


Residential Buildings (Rough render)



Hulton Park Ha-ha (Slate walling)

Figure 14: Examples of common materials found in Over Hulton



6. Local Facilities and Community

OVER HULTON COMMUNITY FACILITIES AND VILLAGE CENTRES

Policy LFC1: Shops and Commercial services

Village Centres and permitted uses

1. The existing clusters of non-residential uses, around Four Lane Ends and around the intersection of Newbrook Road and Geoffrey Street, shown in Figure 16 are defined as village centres.
2. Development within the defined village centres that supports the community feel and character of Over Hulton by diversifying and enhancing the range of local shops, community facilities, and related commercial services for the local community will be supported. Development that proposes uses that are not in line with the low-intensity community feel and character of Over Hulton will be resisted.
3. Desirable use classes include: E, F.1, and F.2. Desirable uses may also include proposals with these land uses at ground floor and complementary uses, including residential, on upper storeys.
4. Non-desirable use classes include: B2 and B8

Loss of village centre uses

5. The loss of shops and related commercial services for the local community and from within defined Village Centres will be resisted unless it can be demonstrated that reasonable efforts have been made to secure their continued use for these purposes. Applications for a change of use to an activity that is not included in the list of use classes provided above and which falls outside of permitted development rights will only be permitted if it can be demonstrated that:
 - a. the premises or land in question has not been in active use for a sustained period (at least 12 months); and
 - b. the premises or land in question has no potential for either reoccupation or redevelopment for the uses listed above and as demonstrated through the results both of a full valuation report and a marketing campaign covering a period of 12 months to demonstrate wholly exceptional circumstances supporting other uses; and
 - c. Proposals for any alternative use are appropriate for the land in question, having regard to other policies in the development plan and any relevant constraints.

Justification

- 6.1. The NPPF highlights the role that local centres play at the heart of local communities and that development should seek to ensure the vitality of these areas. Bolton's development plan does not talk about Over Hulton within its retail hierarchy, however, engagement with residents and business owners has highlighted that certain retail points as important to the community. There are seven Class E uses at Four Lane's End, as well as several community facilities including the Over Hulton Conservative Club, a childcare facility, and Saint Andrew's Church Over Hulton. At the intersection of

Newbrooke Road and Geoffrey Street, there are also seven Class E uses, as well as access points to St Vincents RC Church, and St. Andrew’s Primary School. These centres provide some employment opportunities for the local population, an accessible place to shop for most residents, and places of congregation for various populations, whether they be church-goers, pub-goers, students, or children. A survey of businesses in Over Hulton shows that a majority of both business owners, and their employees in Over Hulton also live in Over Hulton.

6.2. Thus, these centres are considered beneficial for the community, and therefore, the Plan has designated Over Hulton’s village centres.



Figure 15: Location of residence of employees in Over Hulton



Figure 16: Village Centres, Over Hulton



Past and present, Manchester Road

Past and present, looking to St Helens Road



Hanging baskets outside St Andrews Church

The Conservative Club



Goir Lane Ends junction, past...

...and present

6.3. Through consultations and workshops, residents and businesses within Over Hulton have identified the village’s quiet character as a strength. As can be seen in Figure 17, noise pollution within the settlement is mainly concentrated along its main roads, and the inclusion of Industrial land would bring noise and further traffic to the area, thereby disrupting the existing balance of uses. The four million sqft distribution and manufacturing space, the Cutacre Industrial Estate – Logistics North, to the east of Over Hulton, which was approved in 2013 and opened in 2017, brought an estimated 375 vehicle journeys per day in peak hours⁴. While these journeys largely take place along the M61, rather than through Over Hulton, the inclusion of industrial uses in the defined village centres would use the local roads in Over Hulton, and therefore prejudice the existing commercial uses by creation of nuisance and acoustic disturbance to residential and commercial amenities.

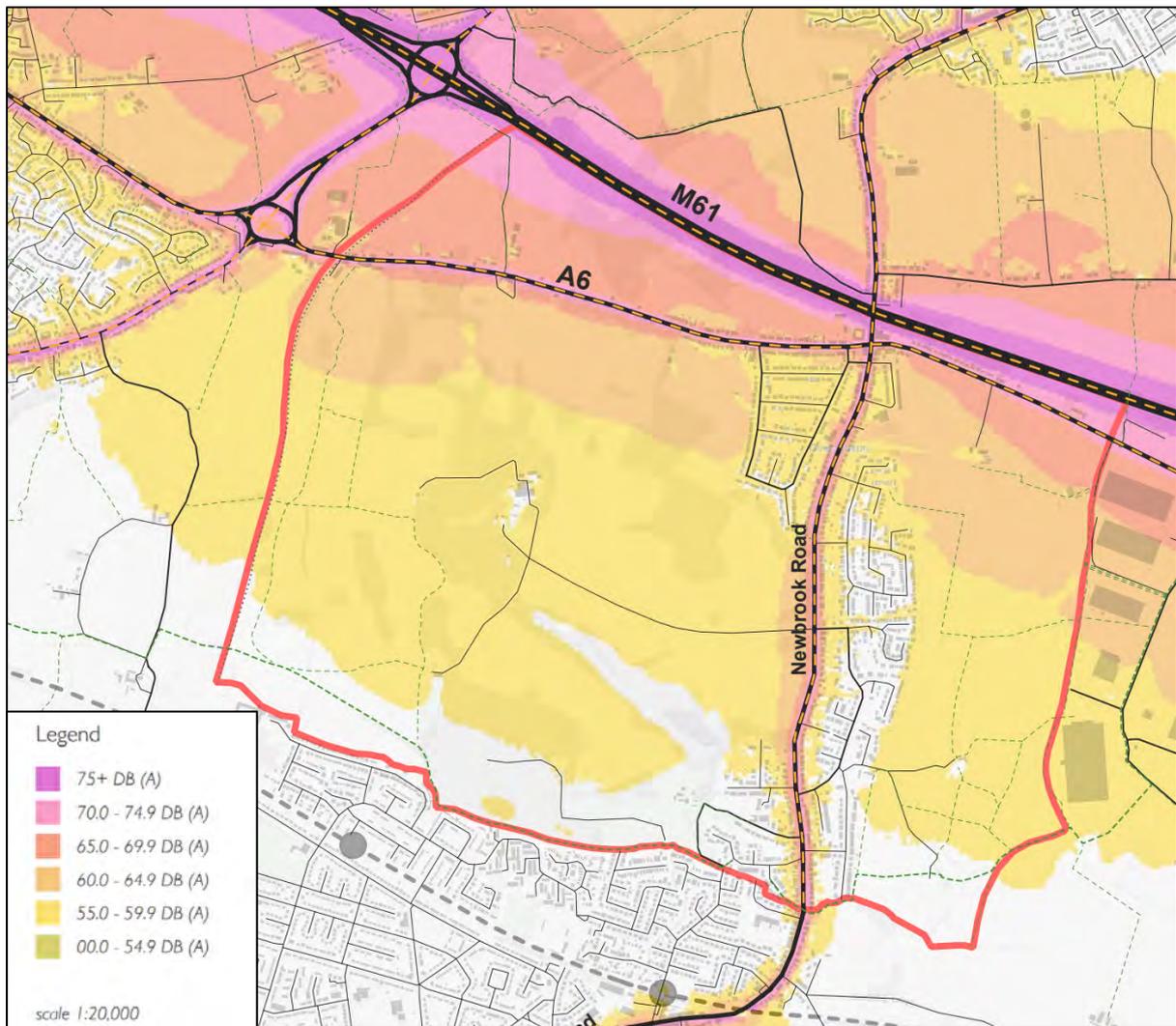


Figure 17: Noise pollution data

6.4. National and local objectives support promoting employment through supporting proposals which generate and develop local business. Accordingly, policy LFC1 opposes the loss of local business unless evidence to justify the loss can be provided. Use classes of B2 and B8 do not align with the established residential village character of Over Hulton and are more appropriate to the Cutacre Industrial Estate – Logistics North, given it is sufficiently buffered by the Cutacre County Park.

⁴ Please see Transport Statement for Cutacre Distribution Centre Application: https://www.planningpa.bolton.gov.uk/online-applications-17/files/D880F15EF91AE8CA9DB693A18757C42C/pdf/04905_18-TRANSPORT_STATEMENT-800702.pdf

LOCAL INFRASTRUCTURE

Policy LFC2: Infrastructure

Infrastructure impact and new facilities

1. The improvement or development of local infrastructure will be supported where it is needed to serve existing or new development. For the purposes of this Policy, local infrastructure includes education facilities, healthcare facilities including doctors and dentists, and local community uses as defined under The Town and Country Planning (Use Classes) Order 1987 (as amended).
2. Proposals which would provide a mixture of residential units and locally important infrastructure should be supported.

Loss or reduction of community facilities or places of importance

3. Over Hulton's community facilities and places of importance are displayed in Figure 20.
4. Community facilities consist of the following:
 - a. The Over Hulton Conservative Club
 - b. The Red Lion Pub
 - c. The Hulton Arms Pub
 - d. St. Vincent's Roman Catholic Church
 - e. St. Andrew's Church
5. Development proposals that would result in the loss or reduction in scale of a community facility will not be permitted unless:
 - a. alternative facilities of equal or better accessibility, size and suitability are provided; or
 - b. it can be demonstrated that the community facility is no longer viable, and it has been marketed for at least a year as a community use.
6. Places of importance consist of the following:
 - a. Back Gates Farm
 - b. Deardens Farm
 - c. St. Andrew's Primary School
 - d. Community Garden
 - e. Public Playground/Fields
 - f. Pretoria Pit Memorial
 - g. Swan Lake
7. Development proposals that would result in the loss or reduction in scale of a place of importance should be resisted.
8. Deardens Farm is a place of importance and shall be protected as such. In the event that the Ryder Cup is awarded to Over Hulton then alternative sites shall be found for the relocation of Deardens Farm, preferably within or as close as possible to Over Hulton.

Justification

- 6.5. The community vision for Over Hulton specifies that the needs of the local community should be optimised through the retention of and appropriate expansion of, existing services and community facilities. Policies H1 and A1 within Bolton’s Core Strategy (2011-2026) aim to ensure that new developments contribute appropriately through planning contributions to meet the needs that such development generates. Through consultation exercises, residents identified a shortfall of doctors, dentists, schools, and community facilities within Over Hulton. This was confirmed through the baseline assessment (Appendix A), and Bolton District’s Infrastructure delivery plan, while not specifying Over Hulton as a location, identifies a ‘potential for new or expanding existing primary schools to accommodate a growing population in Bolton.’ Accordingly, policy LFC2 seeks to support the vision of Over Hulton, in line with Bolton’s objectives and feedback from the local community, to ensure growth is adequately provisioned for.
- 6.6. Paragraph 92 of the NPPF states that planning policies should plan positively for the provision and use of shared spaces and community facilities, and guard against the unnecessary loss of valued facilities and services, particularly where this would reduce the community’s ability to meet its day-to-day needs. The loss of any of Over Hulton’s community facilities would reduce the ability of residents to meet their day to day needs, and therefore loss of these facilities should be resisted.
- 6.7. Deardens Farm and the associated Milk Maid’s Ice Cream Parlour is an important family business which is an integral part of Over Hulton and has been for many years. This is an award-winning locally-based business, attracting visitors and so important to the local economy, but also with strong links to the community, including the hosting of annual educational visits for pupils from St Andrews primary school and the local cubs, learning about animals and agricultural activities. The Farm Shop is a community hub and during the Covid-19 pandemic, became an essential source of basic essentials for those unable to venture further afield.



Figure 18: Deardens Farm and Milkmaids



Figure 19: Dearden Farm tractor busy cutting silage in fields overlooking the busy M61 motorway near Junction 5

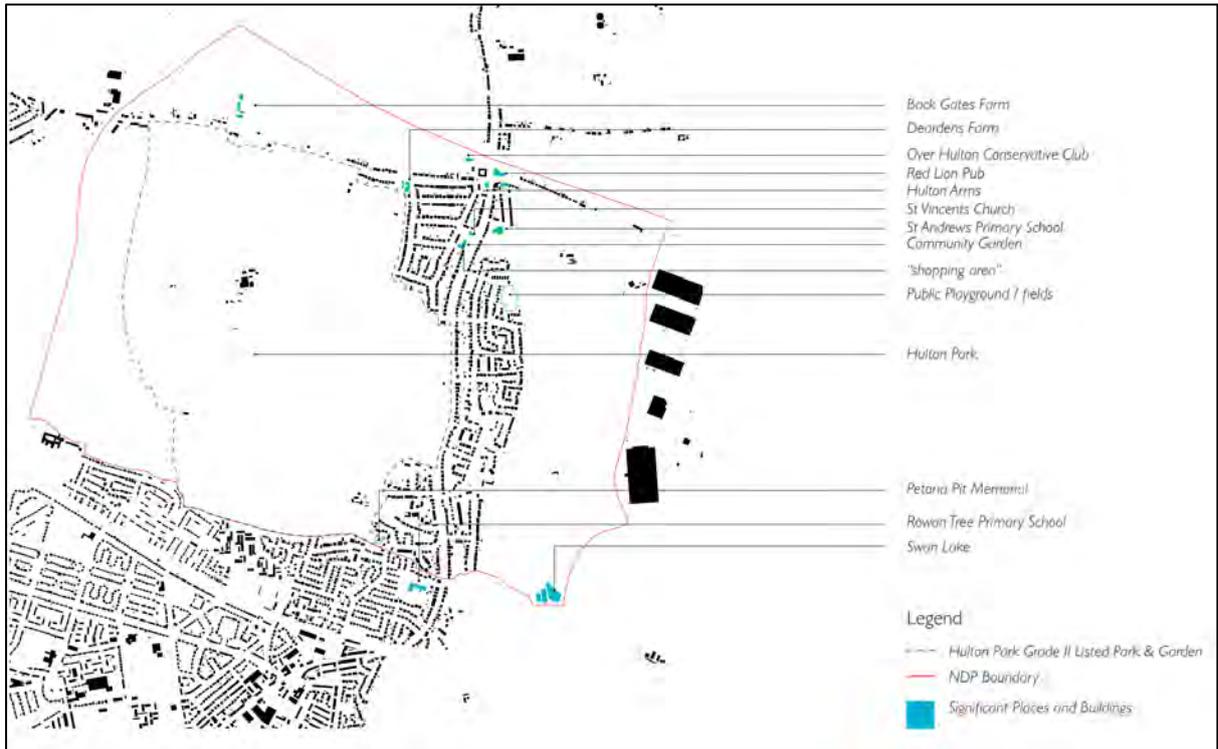


Figure 20: Community facilities and place of importance



Figure 21: Hulton Arms Pub, date unknown but prior to 1933

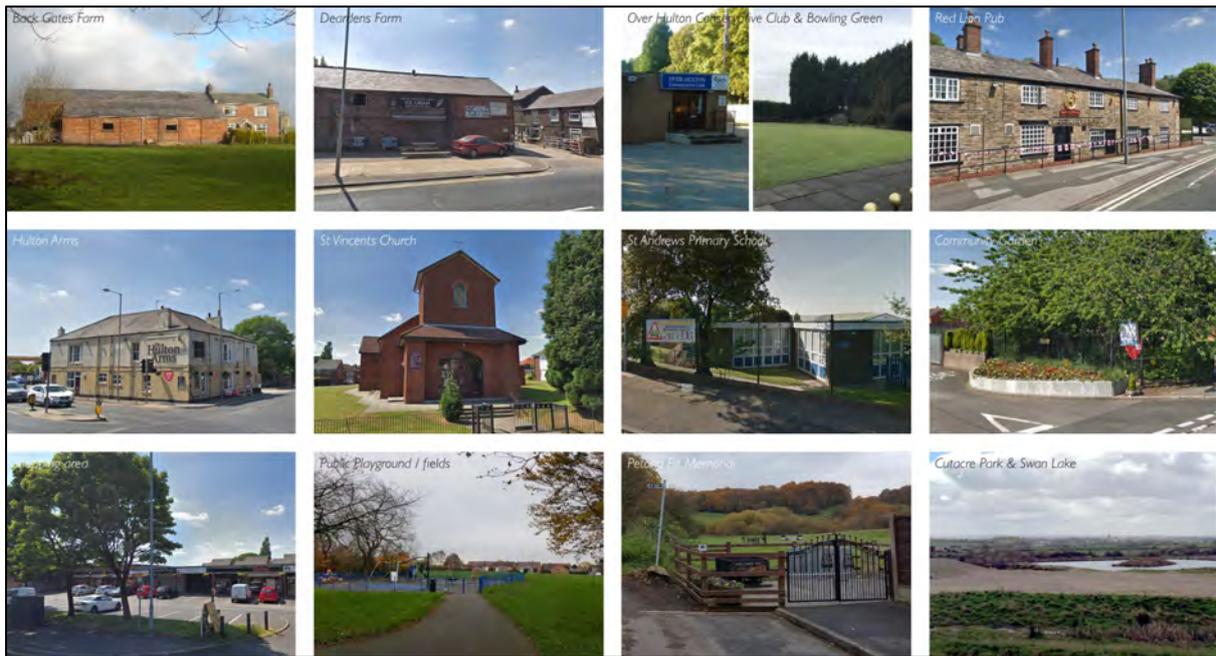


Figure 22: Images of community facilities and place of importance in Over Hulton

Project / Aspiration 1: Local Infrastructure Delivery Plan

A Local Infrastructure Delivery Plan (LIDP) which prioritises infrastructure requirements, priorities, funding and responsibilities will be kept up to date by the Neighbourhood Forum. This LIDP will inform Bolton of infrastructure desired by the local community.

The Forum intends to prepare and keep the LIDP up to date and will explore funding sources with Bolton Council and other partners to help meet the priorities identified collectively within the Forum area,

- 6.8. The Neighbourhood Plan provides policies that guide new development within Over Hulton, however these policies do not reflect all community aspirations. An LIDP will help to deliver community aspirations, particularly as they relate to wayfinding strategies through to Hulton Park, and the use of it as a green connector between Over Hulton and the nearby villages of Westhoughton and Atherton. As discussed in Part 1 of this Plan, Hulton Park is the beating heart of Over Hulton and the surrounding villages. Just as increased use and connective arteries to a heart make it stronger, so too will greater utilisation and wayfinding to the park make it a centrepiece of the region.
- 6.9. Aspirations for this include a pedestrian crossing which aligns Fir Road and the entrance to Hulton Park, improved cycling infrastructure within and leading to the designated Village Centres, the removal of central median along Newbrook Road, and others as laid out in subsequent project boxes. The use of participatory budgeting will ensure a community driven process to reflect the ever-changing aspirations of the community as it ebbs and flows through time.

7. Transport and Communication

ACTIVE AND SUSTAINABLE TRAVEL

Policy TC1: Walking and cycling infrastructure

1. New developments which adjoin existing footpaths or bridleways shall provide active frontage upon the route including windows and entrances that face onto the footpath. Developments that make improvements to these rights of way will be supported. Where new developments are proposed on green belt land, and that land has desire lines, these routes shall be enhanced and incorporated into dedicated routes with public pedestrian access. Where appropriate, low level lighting should be provided and designed to respect the amenity of any neighbouring residential property.
2. All new development should maximise opportunities to walk and cycle, including between Westhoughton, Atherton, and Over Hulton, via enhanced access to the green belt and other green spaces.
3. All new residential development must provide cycle parking and storage in line with standards established by Bolton Council (or any subsequent update to these). As far as possible, cycle parking / storage should be covered, secure and in close proximity to the main point of entry to the house.
4. Where directly related to the development, development shall facilitate improvements to the quality and safety of pedestrian and cycle crossings on Newbrook Road.

Project / Aspiration 2: Walking and cycling improvements

The Forum supports and is keen to see the delivery of new walking and cycling links which integrate with the existing movement network and lead to or align with points of access into Hulton Park or Cutacre Country Park. Crossing points and junctions where improvements are encouraged include:

- Firs Road and Newbrook Road
- Wellington Road and Newbrook Road
- Woodlands Drive and Newbrook Road
- Broadway and Newbrook Road

Justification

- 7.1. Paragraph 110a of the NPPF states that developments should ensure that “appropriate opportunities to promote sustainable transport modes can be – or have been – taken up, given the type of development and its location”. The emergence of COVID-19 raised the importance of the need for good quality public realm, walking and cycling provision for health and well-being. Government guidance issued since the COVID-19 pandemic commenced is intended to support and deliver new and improved walking and cycling infrastructure. This includes LTN 1/20 Cycle Infrastructure Design. Active Travel England was also launched by the Department for Transport at the start of 2022, supporting and investing in projects that deliver on LTN 1/20. The Bolton Core Strategy Appendix 3 outlines standards that must be conformed with for minimum cycle parking, and the Neighbourhood Plan builds on these standards through policy TC1. The Bolton Infrastructure and Planning Contributions Adopted Supplementary Planning Document (July 2016) notes that deficiencies arising from development can be remedied through use of S106 funding for transport of all types including cycling and walking (Policy IPC1).
- 7.2. Provision of pedestrian and cycling infrastructure is imperative to support sustainable transport modal choice and lack of this provision was also identified by residents as one of the key issues facing Over Hulton. Figure 23 shows the existing public rights-of-way through the Park. As displayed, the villages of Atherton, Westhoughton, and Over Hulton all surround Hulton Park, which is designated Green Belt. Accordingly, there exists an opportunity to use this space to provide and enhance inter-village connections via sustainable transport. Various planning resources, including the National Design Guide, point to the importance of active frontages in creating successful and well used public spaces, as well as in creating key pedestrian links.
- 7.3. A lack of connectivity from the main settlement to nearby landscape areas and green spaces was also identified by residents as a key issue within Over Hulton. Newbrook Road acts as a barrier to Hulton Park for those living east of it, and to Cutacre Park, for those living west of it. There are only seven pedestrian crossings along this road from the “Four Lanes End” at the northern boundary of the designated neighbourhood area, to Green Hall Close, at the south boundary of the area. None of these crossings is aligned with an entrance to either park, or a road which connects to a park entrance. Government guidance supports a move to more active forms of travel and, with the experience of Covid and the climate emergency, the importance of walking, cycling and access to green spaces for leisure and recreation has been highlighted. With potential future growth in the area there will be a need to de-couple this from an increase in movements by private vehicles, particularly for shorter, everyday journeys, and to make walking and cycling more attractive propositions. As such, improvements to walking and cycling conditions are required. Wayfinding to public spaces and greenspaces is encouraged by the National Design Guide (2019) and aligning crossings to the entrances to Hulton Park would provide such wayfinding to the Park.
- 7.4. Projects 3 - 5 provide a roadmap for further integration of Over Hulton with Hulton Park, while enhancing the transport connections within the neighbourhood area. These projects show aspirations for the community, and are in line with both the new Traffic Management Act (which requires all local authorities to make more space for walking and cycling), and the National Design Guide (which promotes wayfinding to public spaces). It is hoped that the projects will inform the authorities when they make relevant improvements to the area or spend S106 moneys on any pedestrian transport improvements.

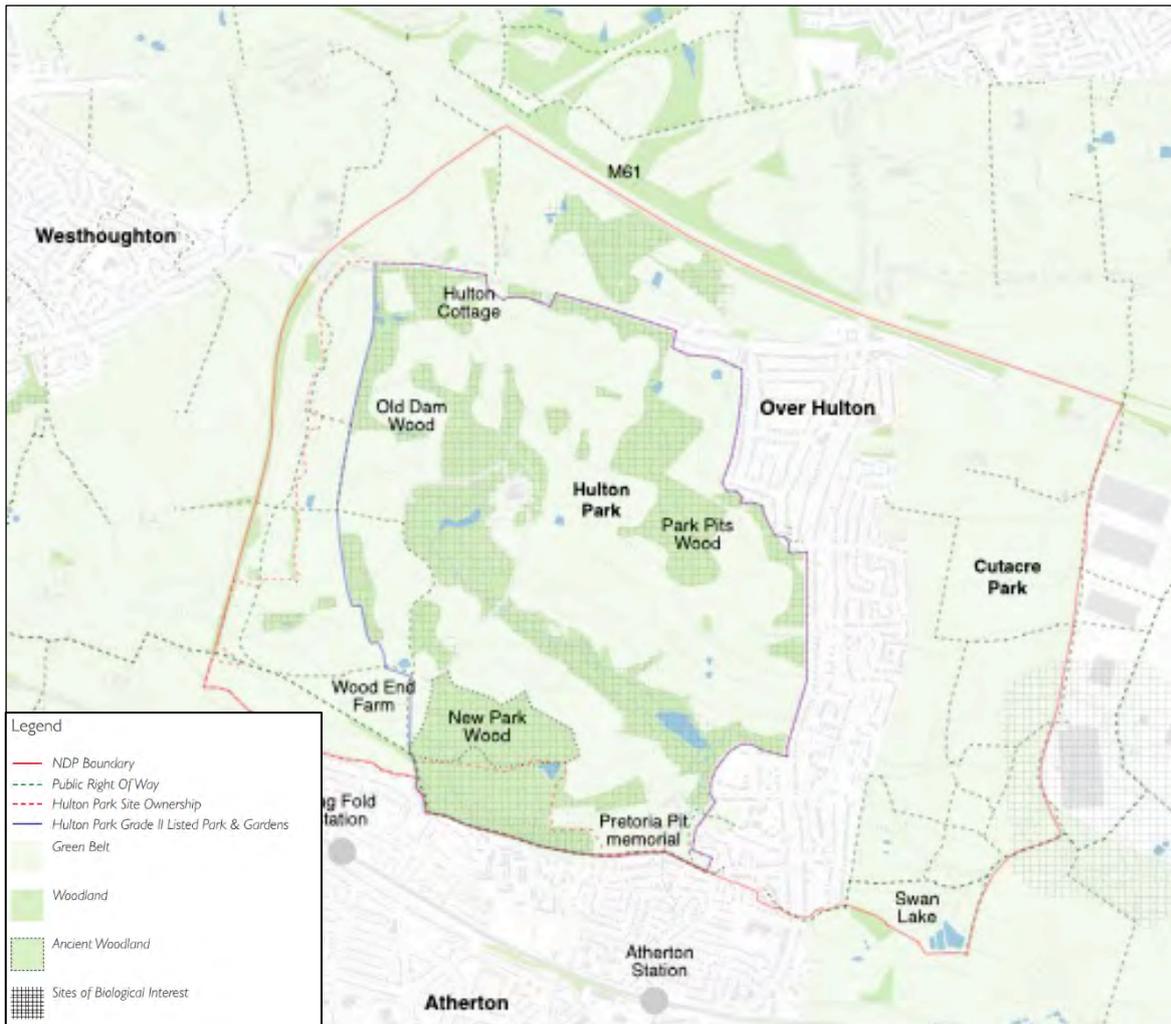


Figure 23: Green spaces and public rights of way in Over Hulton

Project / Aspiration 3: Toucan Crossing at Firs Road and Newbrook Road

The Forum is keen to work with the highways authority to explore the potential for a new signalised toucan crossing, linking Firs Road and the entrance to the Hulton Park Estate, replacing the existing traffic island north of this intersection. The crossing should feature crosswalk “bump outs” from the pavement, and be incorporated, where possible, with on-street parking and a bus stop on the western side of the road, to facilitate visitors to the park.

Project / Aspiration 3: Removal of Central Median along Newbrook Road and Establishment of Cycle Lanes

The Forum is keen to work with the highways authority to explore the potential for removing the central median along Newbrook Road and reallocating road space to provide cycle lanes along Newbrook Road, which are physically protected from the road network.

Project / Aspiration 5: Wayfinding Signage to Hulton Park and Cutacre County Park

The Forum is keen to work with partners, including Bolton Council and the highways authority to explore the potential for introducing wayfinding signage across Over Hulton, indicating directions and distances to Hulton Park and Cutacre County Park. Signage should be located near community facilities, as well as at the intersections established in policy TC1.



Figure 24: Green street character, Manchester Road looking towards Hulton Lane Ends

Policy TC2: Electric vehicle charging points

1. To ensure pedestrian accessibility and keep with the character areas, new developments which include electric vehicle (EV) charging points shall make such points be discrete, well-integrated into the street design, and not located on the pavement nor footways, so as not to cause obstruction to pedestrians.
2. The provision of publicly accessible EV charging points is encouraged within Over Hulton's Designated Village Centres. These spaces should be provided alongside cycle parking spaces, include a relevant boundary treatment along their edge and consider a range of ground treatments to reduce the perception of hard landscaping.

Justification

- 7.5. Development within Over Hulton should be in keeping with the established character of the area, as set out in the Over Hulton Character Area Assessment (appendix C). Paragraph 107e of the NPPF also states that developments should *"to ensure an adequate provision of spaces for charging of plug-in and other ultra-low emission vehicles."* The National Design Guide (2019) also suggests that charging points be suitably located, sited and designed to avoid street clutter.
- 7.6. Over Hulton's designated Village Centres are intended to provide a degree of placemaking for the village. The National Design Code recognises that successful public spaces are those which have a range of mobility options for access, and thus the integration of EV charging points alongside cycle parking spaces into the designated Village Centres is designed to further enhance the placemaking potential of the village.

RESIDENTIAL CAR PARKING

Policy TC3: Car Parking

1. Development shall provide car parking spaces in line with the maximum standards established in Appendix 3 of the Bolton Core Strategy. These shall not be exceeded. Support will be given to those schemes that propose a lower level of parking provision and off-set this with measures that support active travel, including covered, secure and easily accessible cycle parking.
2. Where parking is to be provide on-plot it should not detract from the established building line, frontage nor character of the street. Parking shall be set back from the building line and preferably to the side of the house. Communal rear courtyards are discouraged. Where these are the only practicable solution buildings must be designed to overlook these, with direct access on to the parking area, with areas of vegetation and soft landscaping incorporated within the communal parking area.
3. Provision of on-street parking will be supported where it is designed as part of the street, including appropriate landscaping, and where it does not encroach onto the pavement nor diminish pedestrian space.
4. Where parking is located adjacent to an existing open space it should avoid becoming a barrier to movement to the open space.
5. Development shall be resisted, where It creates a net addition of parking spaces upon the property where there is not a corresponding increase in the number of units.
6. Where it is proposed to pave over front gardens and the submission of a planning application is required, all proposals should: (a) Seek to maximise the retained area of lawn and vegetation, (b) Incorporate Sustainable Urban Drainage Schemes (SuDS) (c) Not direct run-off straight into the drainage system (both to avoid adding to flood risk and to ensure pollutants do not enter the main river system); and (d) Include new planting of non-invasive tree and shrub species.
7. Where new parking is established that paves over an existing front garden this should make use of permeable surfaces and an appropriate natural boundary treatment must be provided between the parking space and the pavement, to visually shield the parking space from the pavement, and prevent a loss of privacy to the residence in question. Boundary treatments should reflect those present in the appropriate character area within which the development is located.
8. Where proposals include new parking that paves over an existing front garden, a planning application will be required for a dropped kerb/cross-over. In addition, permission is needed from the council for any crossing over a public footpath to ensure that this meets specific standards and is appropriate constructed. This is separate from planning permission.

Justification

- 7.7. The NPPF states that developments should respond to local character. Many of Over Hulton's Character Areas, as set out in the Over Hulton Character Area Assessment (appendix C), are defined in part by front gardens, and in-curtilage parking was identified through the Design Guide as a threat to this character in certain areas, rather than a contributor to it. Removal of such gardens within specific character areas should therefore not be supported, notwithstanding any mitigation measures that are brought forward to ensure appropriate boundary treatment. Appropriate boundary treatments will differ between character areas, but is considered by the Design Guide to feature small walls and native hedging and implemented in locally appropriate brick or stone with gaps for wildlife movement.

8. Landscape and Environment

VIEWS AND SETTING

Policy LE1: Locally important views

1. The natural setting of Over Hulton will be retained. The viewpoints shown in Figure 25 are identified as Locally Important Views. These include:
 - View 1 – View walking from A6 entrance to Western Fields from public footpath
 - View 2 – View from public footpath in Western Fields looking towards St. John the Baptist’s Church, Atherton
 - View 3 – View looking towards Dog Kennel Wood facing and to left towards Back o’th Lawn Wood
 - View 4 - View looking towards Wood End Farm
 - View 5 - View to left towards Back o’th Lawn Wood and looking towards Dog Kennel Wood
 - View 6 – View from Woodlands Drive
 - View 7 – View from Pretoria Pit Memorial View looking towards Park End Farm
 - View 8 – View from Dearden’s Farm and Newlands Drive looking towards Cow Wood and Park Pits Wood
 - View 9 – View from Home Farm looking towards stables and paddocks
 - View 10 – View of Mill Dam Wood looking towards Hulton Lake
2. Development proposals that would result in loss of, or visual intrusion onto an existing Locally Important View, shall not be permitted.
3. New developments must consider how the topography of Hulton Park affects the visual prominence of proposed building heights and locations, from both the existing settlement and the surrounding landscaping, to minimise unnecessary visual intrusion from the village and its surrounding routes.

Justification

- 8.1. The Over Hulton Neighbourhood Forum has identified a series of key views that contribute positively to the character of Over Hulton, including its agricultural setting and sense of openness. These feature views contribute to the feeling of openness looking towards Hulton Park from public footpaths.
- 8.2. The local topography of Over Hulton enables long views from surrounding green belt into the built-up area of the neighbourhood, and visa-versa. The importance of Locally Important Views is highlighted within the Design Code. Notwithstanding the views which have been regarded as locally important, the overall rural nature of the settlement and its countryside setting are fundamental to Over Hulton’s character and this was highlighted as a key strength through the consultation exercises. This also extends to the wider setting of the area, with the Cutacre Country Park extending into neighbouring areas but forming the setting for Over Hulton.

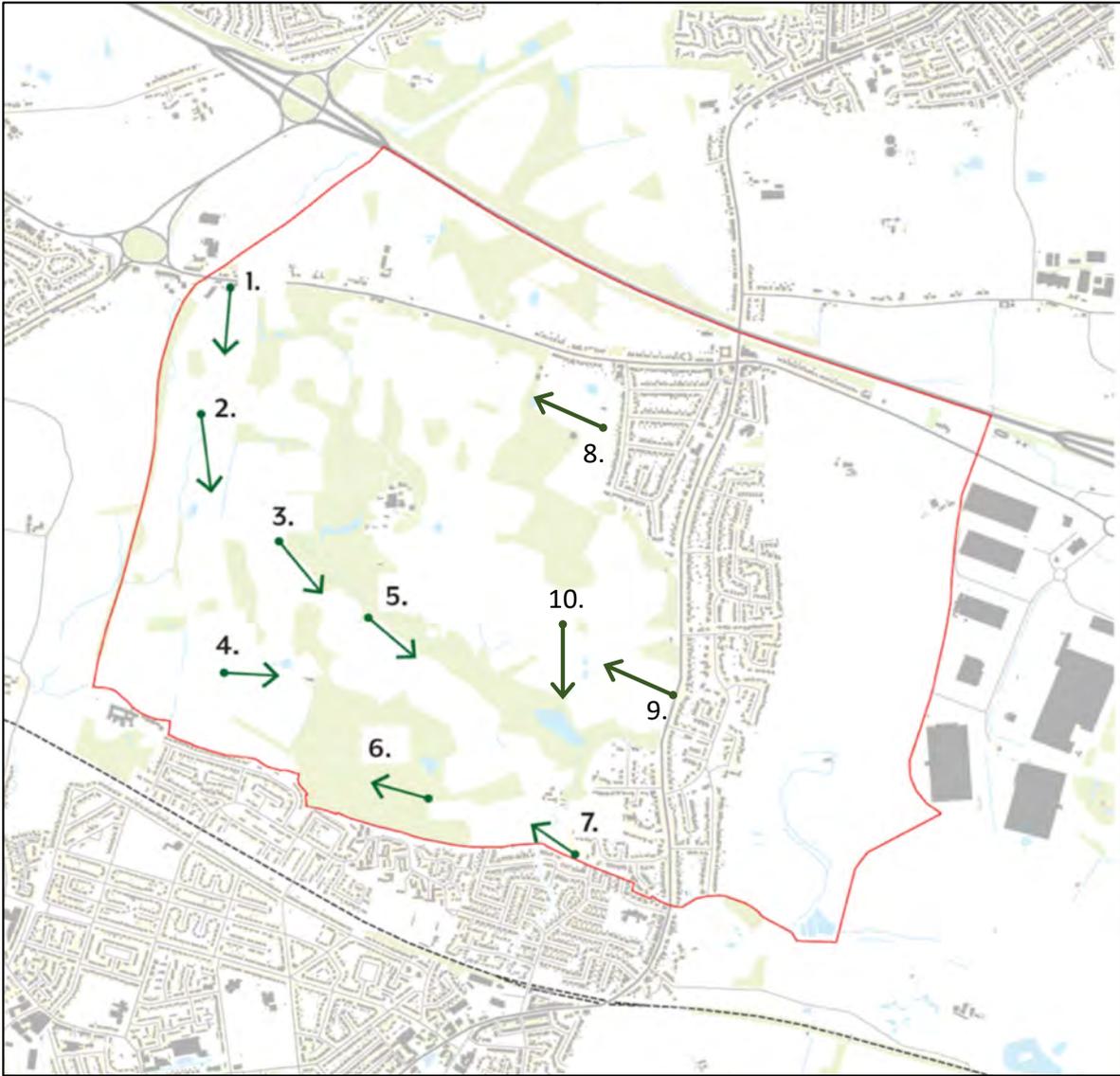


Figure 25: Locally important views in Over Hulton

“Hulton Park surrounds our home, it’s the first thing we see in the morning and last thing we see at night a truly magical place to live”

- Over Hulton Resident

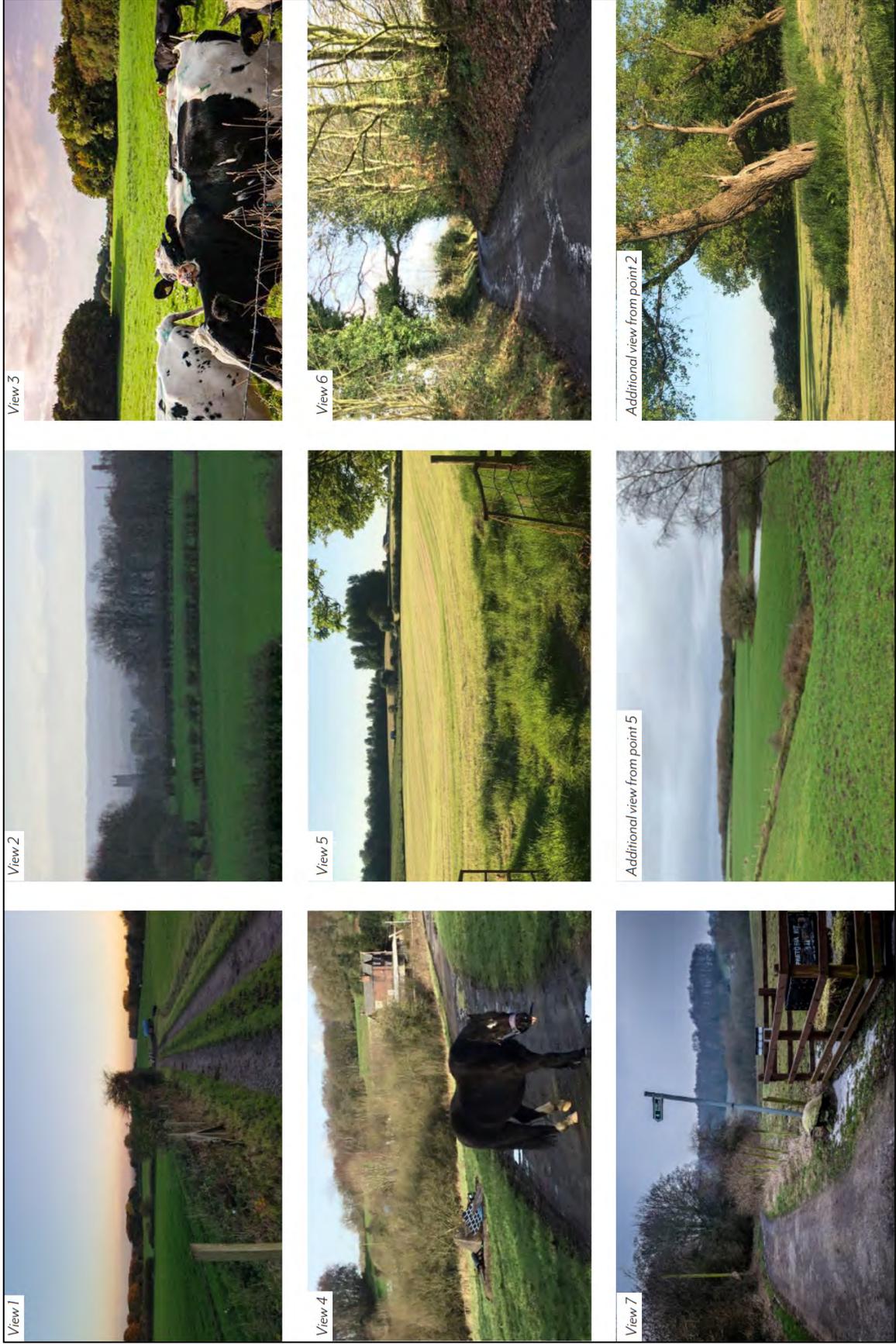


Figure 26: Images of locally important views in Over Hulton

Policy LE2: Lighting

1. Proposals for development will be supported where it is demonstrated that, if external lighting is required, it protects the night sky from light pollution through:
 - a. The number, design, specification and position of lamps;
 - b. Full shielding (at the horizontal and above) of any lighting fixture exceeding 500 initial lumens and evidence of limited impact of unshielded lighting through use of adaptive controls; and
 - c. Limiting the correlated colour temperature of lamps to 3000 Kelvins or less.

Justification

- 8.3. Through public engagement, residents have identified the rural nature Over Hulton to be one of the assets of the neighbourhood. To protect this rural character, the minimisation of light pollution from new developments will be supported. High Kelvin rated lighting can create a harsh glare, disrupt sleep and disturb nocturnal wildlife and their habitats. The International Dark-sky Association (IDA) advises that outdoor lighting should not exceed a rating of 3000 Kelvins. Equally, the IDA recommends that any light fixtures with an output above 500 lumens should be fully shielded and pointing downward to minimise glare and skyglow.
- 8.4. The NPPF states (para 185c) that planning policies and conditions should “*limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation*”. Figure 27 shows the current levels of light pollution in Over Hulton. As can be seen, the majority of residential areas are already exposed to a significant amount of light pollution, with some overspill onto Hulton Park, which is significantly darker than its surrounding areas. Increased housing within the neighbourhood area, particularly proposals adjacent to the Green Belt, may produce more light overspill, therefore harming the amenity of the park and garden. Restricting further light pollution is therefore a protection of the more rural character of the park.



Figure 27: Light Pollution in Over Hulton. (source: Basemap © Esri, Light data © Natural England copyright 2016. Contains Ordnance Survey data © Crown copyright and database right 2016.)

WILDLIFE AND BIODIVERSITY

Policy LE3: Wildlife corridors

1. New development should facilitate the creation of wildlife corridors between Sites of Biological Importance. Such corridors will incorporate the following:
 - a. Sensitive integration of with adjacent paths and routes, where possible, to create ‘green links’ for both humans and other wildlife;
 - b. Exploration of opportunities to enhance biodiversity and provide increased opportunity for wildlife on properties, such as hedgerow planting and new habitats.
2. Wildlife corridors shall be designed appropriately to respect the varied landscape characters present in Over Hulton and shown in Figure . The nature of the biodiversity improvements should be informed by each of these landscapes, in consultation with a landscape officer.

Justification

- 8.5. Figure 29 shows sites of biological importance within Over Hulton. With exception to one such site in the Cutacre County Park, most of these areas are relatively close to one another. Should development come forth either adjacent to these sites, or between them, it should ensure that natural improvements are provided on sites for wildlife to travel safely, and to enhance biodiversity.
- 8.6. Paragraph 174d of the NPPF states that planning policies and decisions should “*provide net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures*” which supporting integrated wildlife corridors will help achieve.
- 8.7. Figure 31 shows the varied landscape characters that are present within Over Hulton, which shall be respected through an appropriate design of facilities which facilitate the creation of wildlife corridors.



Figure 27: Examples of local ‘birdlife’ in Over Hulton

“My love of wildlife came from my childhood growing up in Over Hulton exploring the area with my Dad. We dug up groundnuts and used binoculars to watch baby lapwings in their nests.”

- Over Hulton Resident / Local Wildlife Rescue

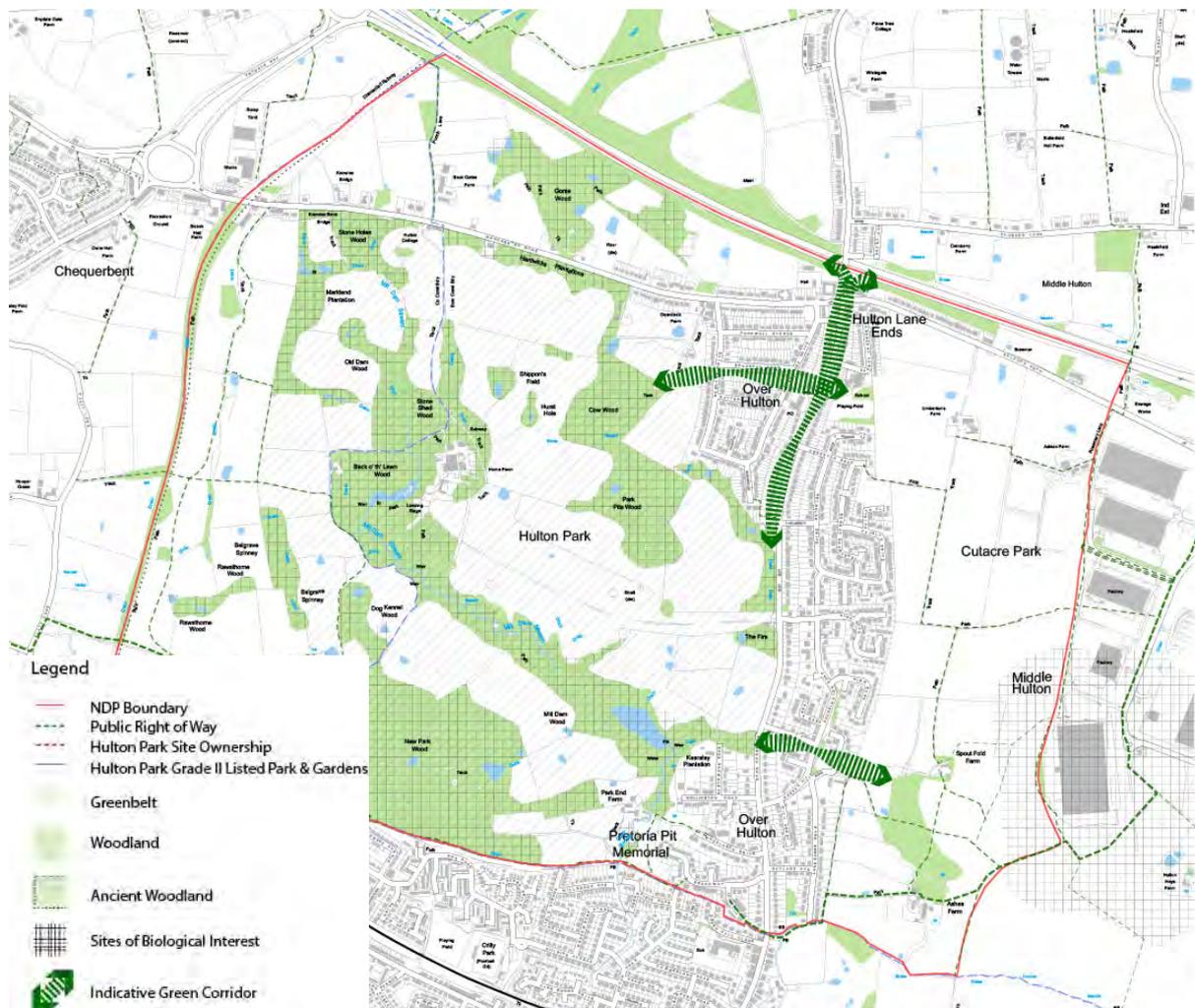


Figure 29: Wildlife corridors and sites of biological importance in Over Hulton



Figure 30: Wildlife in Cutacre Country Park

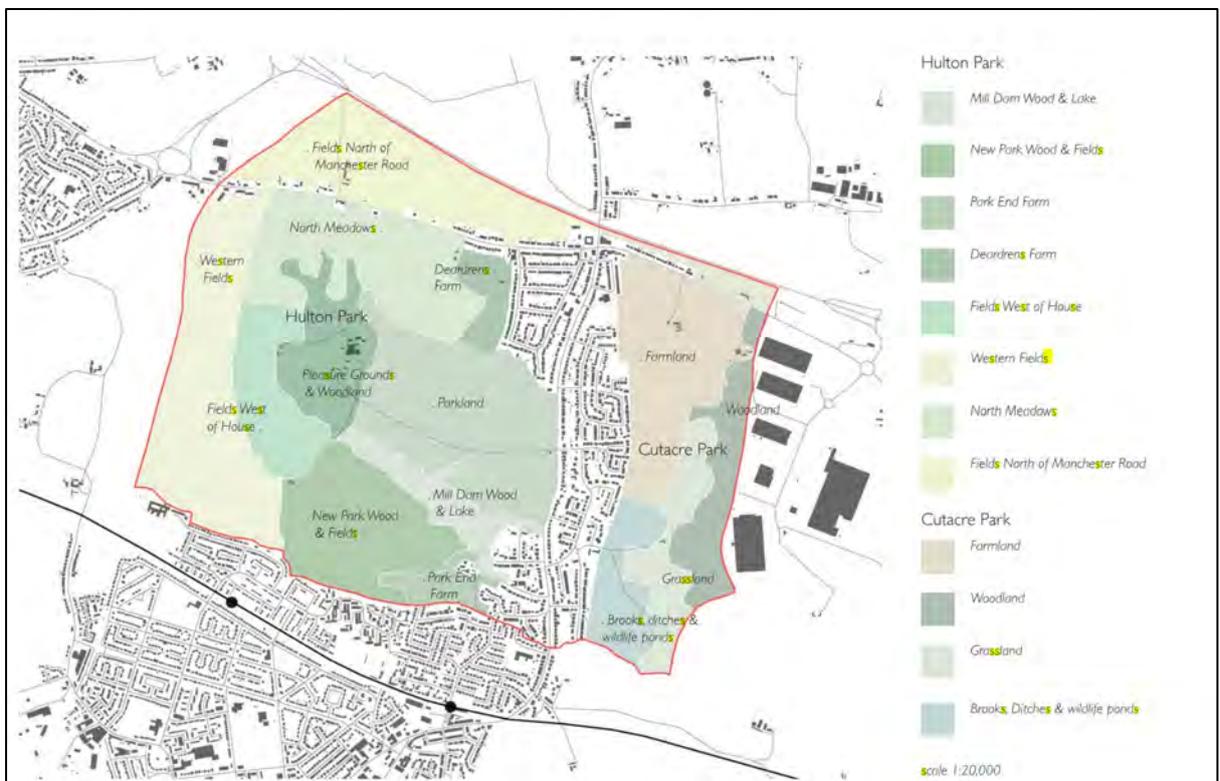


Figure 31: landscape character areas

“I was walking on the public footpaths and watched a hare running across the field at the side of me. I couldn’t hear any traffic noise, it was so quiet and peaceful, it was a truly beautiful moment which I treasure.”

- Over Hulton Resident

Policy LE4: Mature trees and hedgerows

1. Existing trees and hedgerows should be recognised, protected and enhanced in new development, and used to inform the structure and character of landscaping within the site. Accordingly, new development shall consider the following:
 - a. Planting of mature trees to ensure continuity of landscape character.
 - b. Use of species common to Bolton District or Lancashire County, to promote the continuity of Over Hulton's rural character.
 - c. Opportunities for tree planting on properties along residential streets

Justification

- 8.8. Paragraph 174b of the NPPF states that planning policies should recognise *“the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland”*.
- 8.9. The Over Hulton Design Guide identifies the natural character of Over Hulton as being one of varied open landscapes which integrate with the existing settlement, thus providing a rural feel to the settlement. The guide identifies this open landscape as one of Over Hulton's assets, while identifying the mature trees along residential roads as contributing to this natural character also (see Figure 32).
- 8.10. Accordingly, policy LE4 provides further context to the areas in which such benefits should be considered, to promote sustainable development within the neighbourhood area.



Figure 32: Mature trees along Woodland Drive

HULTON PARK

“Hulton Park is the heartbeat of Over Hulton with its beautiful landscape and historic links.”

- Over Hulton Resident

Policy LE5: Hulton Park

1. Any new development within Hulton Park shall ensure:
 - a. That Hulton Parks’ significant heritage as a Grade II Registered Park and Garden is protected and enhanced.
 - b. That Hulton Park’s significant hydrology shall be recognised, and its natural water cycle is protected and enhanced in the interest of flood resilience.
 - c. Existing mature trees and hedgerows are protected and managed as a fundamental feature of the character of the park;
 - d. Existing habitats within the park are enhanced through the integration of site-wide wildlife corridors;
 - e. The preservation of green open spaces to provide public access and amenity, increasing benefits to all residents in the neighbourhood
 - f. Development is of high-quality sensitive design, and not generic pastiche-built forms that degrade the heritage setting of the park;
 - g. The estate cottage that was the home of the Sir Geoffrey Alan Hulton is protected as an important heritage asset to Over Hulton;
 - h. The character and heritage of the coal mining pits is be preserved with consideration given as to how these can be made visible or safely interactive through the alignment of PROWs, green open space, and signage;
 - i. The Pretoria Memorial is protected and enhanced, with consideration as to how best to integrate it into Hulton Park;
 - j. The existing ha-ha along Newbrook Road, marking the boundary of Hulton Park, is protected and enhanced, with consideration as to how it can be best incorporated into the public realm of an improved Newbrook Road;
 - k. New developments consider how the topography of Hulton Park affects the visual prominence of proposed building heights and locations, from both the existing settlement and the surrounding landscaping, and minimise unnecessary visual intrusion from the village and its surrounding routes.
2. Proposals for development shall demonstrate how they preserve and enhance the special qualities of Hulton Park as set out in the Statement of Significance (presented as Appendix D to the Neighbourhood Plan).

Justification

- 8.11. Hulton Park and the Pretoria Memorial are recognised by the Over Hulton community as intrinsic parts of the settlement. A Statement of Significance (See Appendix D) has been prepared, establishing the value of the Park to the community, its aesthetic and historic values, as well as its archaeological interest, importance to species and habitats, and its physical remains. The Park is considered to have 'high significance'.
- 8.12. Assets of the park including its picturesque parklands, former coal mining landscapes, water bodies, woodlands, and agricultural areas, have been identified by the community as assets they wish to protect from development, and through both the Character Assessment and Design Guide as distinctive local elements of Over Hulton that warrant preservation. Unique design considerations are therefore entitled for any proposed development within the park.
- 8.13. The National Design Guide (2019) recommends improvement and enhancement of water management systems, the provision of rich and varied biodiversity, and the provision of high-quality public open spaces with a variety of landscapes.
- 8.14. Accordingly, policy LE5 responds to the concerns of the community, and the recommendations set out within the National Design Guide and ensures that development recognises and responds to the differing landscape characters and designs within the Park.

“Fond memories of going to Hulton Park with my father as a child and driving through the estate. I loved looking at the wild flowers and wildlife. A happy place to be.”

- Julie Hulton (relative of Sir Geoffrey Hulton)

“My great grandfather lived in Over Hulton and was one of the Pretoria Pit Managers who assisted on the day of the disaster by pulling injured miners and those dead from the mine, he was awarded a bravery medal. Over Hulton is enriched in such history and is a privilege to live here with my family and gives me a sense of pride.”

- Over Hulton Resident



Hulton Hall before demolition in 1958



Sir Geoffrey Alan Hulton



The walled garden at Hulton Park



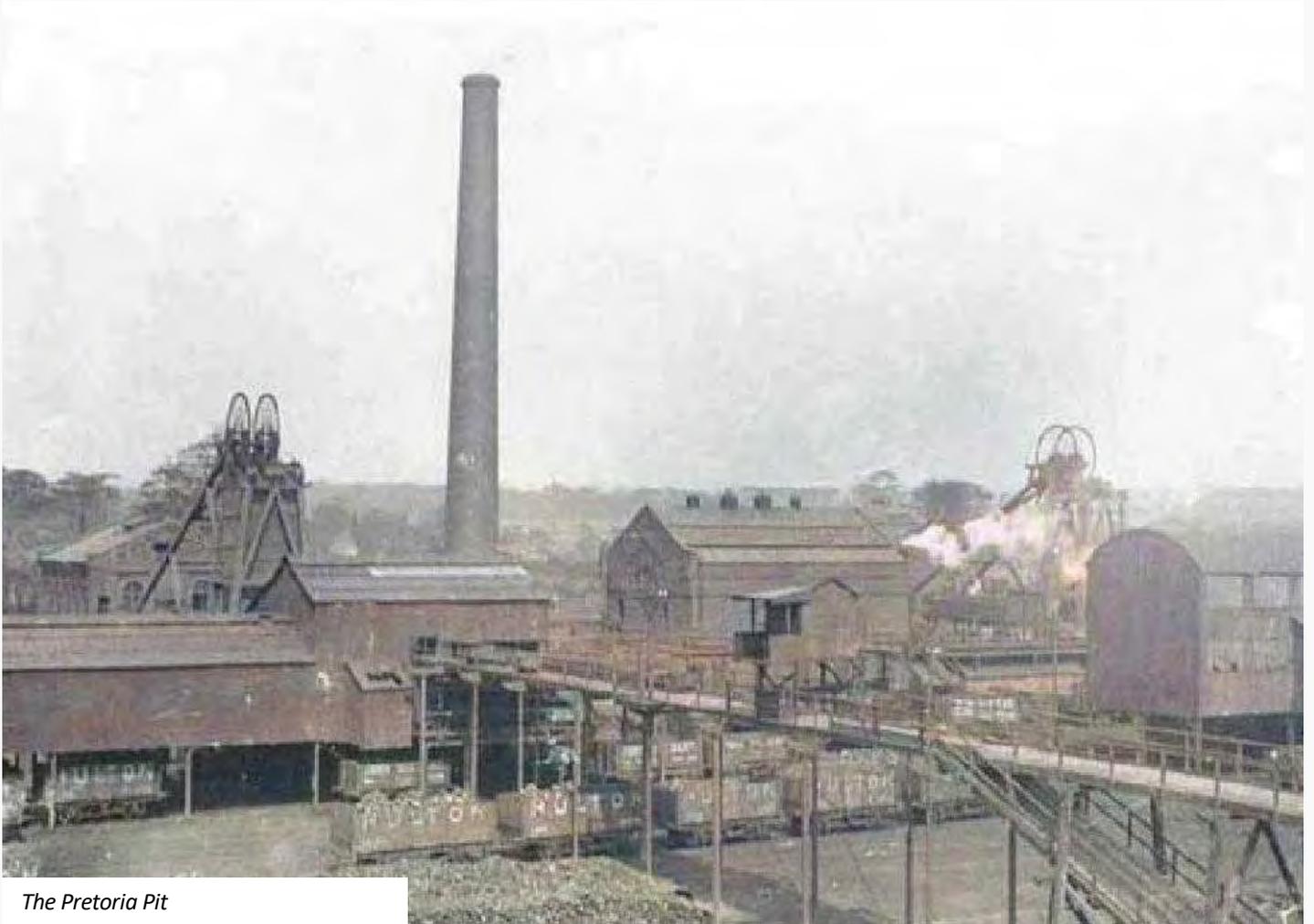
Inside Hulton Hall



Hulton Estate public footpath guided walk



Sunset over Hulton Park



The Pretoria Pit



Pretoria Pit relief fund efforts

LOCAL GREEN SPACES

Policy LE6: Local Greenspace Designations

1. The following are designated as Local green Spaces, as delineated in Figure 33:
 - a. Over Hulton Bowling Green
 - b. Umberton Road Park
 - c. Hulton Park Estate Main Entrance
2. Planning applications for development of the Local Green Spaces will not be permitted unless very special circumstances are demonstrated in line with the Green Belt tests set out in national policy and where the proposed development is ancillary to the enjoyment of the Green Space.

8.15. Under the NPPF, Neighbourhood Plans can designate Local Green Spaces which are of importance to the local community. The NPPF, at paragraph 102, states that Local Green Spaces should only be designated where the green space is:

- a) *In reasonably close proximity to the community it serves;*
- b) *Demonstrably special to a local community and holds a particular local significance, for example because of its beauty, historic significance, recreational value (including as a playing field), tranquility or richness of its wildlife; and*
- c) *Local in character and is not an extensive tract of land'*

8.16. Over Hulton Bowling Green is to the rear of the Conservative Club. It is easily accessible and benefits from a large car park, is well used by the community and stages regular games in the Farnworth and District Parks Veterans Bowling Association. It is important for its social role and supporting local health and well-being.

8.17. Umberton Road Park, which is owned and maintained by Bolton Council, is an important recreation and child's play space which is in close proximity to and serves the local community. It is located between Umberton Road and Farlyn Close, and is important for younger members of the community who use it for sports, including football and rounders. It thus meets the criteria for designation outlined in the NPPF.

8.18. The main entrance to Hulton Park holds local significance for Over Hulton given the role of the estate in the growth of the area, for its beauty and historic significance. The gated entrance and associated gate house, and mature woodland, forms a distinctive and verdant backdrop to Over Hulton and is unique to the area.



Figure 33: Local Green Space Designations in Over Hulton

9. Monitoring and Review

MONITORING

- 9.1. This NDP has been developed to plan sustainable growth for the period 2020 – 2037. This aligns with the emerging Bolton Local Plan.
- 9.2. A formal review of the Neighbourhood Plan, in consultation with the community and Local Planning Authority, will be undertaken on a regular basis. This will be to ensure the Plan is still current and remains a positive planning tool to deliver sustainable growth. This may take place at a specified period or be triggered by changes to national policy or future publication of a Greater Manchester Spatial Framework (or similar) and which may need reflecting in changes to the Neighbourhood Plan.
- 9.3. In parallel with work on the Neighbourhood Plan, the Chequerbent embankment of the Bolton and Leigh Railway, located between the A6 Manchester Road and the M61 at Chequerbent and some 200m to the east of the A58, has recently been awarded Scheduled Monument Status by Historic England. This award coincides with the forthcoming Bolton and Leigh Railway bi-centenary (2025) and wider aspirations to retain and preserve the embankment. Any future funding awarded or initiatives to conserve and enhance this will be monitored for inclusion in updates to the Neighbourhood Plan.



Figure 34: Hereford Cows from Deardens Farm crossing the main road, as they do every day after milking

Conclusion

The Neighbourhood Plan for Over Hulton took many years to complete, but finally it was done. In an uncertain world, the residents, employees, and business owners of Over Hulton could now look to the future with a bit more certainty. Some things would change, yes, that was inevitable as the sun setting in the west, or the ever-shifting economy. But other things, like Hulton Park, or the character areas within the settlement, would stay as they always had been, just as one can visit their nan and always count on receiving a cup of tea.

My time to you as a narrator is over. The future of Over Hulton is now within your hands, and the hands of the community around you. Only together can we provide stewardship and cherish the village. Only together will our plan make an impact.

With their tools in hand, the residents of Over Hulton went forward to build a better community; to make the village more sustainable; to support to the local economy; to meet the challenges of climate change; and to respond to the changing needs of households with the ebbs and flows of time. Forward they marched, with their heads held high, into the sunset, on a landscape which had defined a village for over a thousand years.

But this wasn't the end.

This was only the beginning.

Acknowledgements

The Over Hulton Neighbourhood Forum would like to thank everyone who has participated in consultation and engagement events over the last few years to help shape and inform the Neighbourhood Plan who have all committed their time, energy and passion to preparing the Neighbourhood Plan and helping to shape a better future for Over Hulton.

We would also like to thank consultancy Troy Planning + Design for their help in preparing the Neighbourhood Plan (www.troyplanning.com).

Appendices:

Supporting information



Appendix A – Over Hulton Baseline Assessment

See separate document

Appendix B – Over Hulton Character Area Assessment

See separate document as annex to the plan.

Appendix C – Over Hulton Design Code and Guide

See separate document as annex to the plan.

Appendix D – Hulton Park, Statement of Significance

See separate document as annex to the plan.

Appendix E – Consultation Statement and Supporting documents

See separate documents

Appendix F – Glossary

Adoption – The final confirmation of a development plan by a local planning authority.

Affordable housing (or sub-market housing) – Social rented, affordable rented and intermediate housing, provided to eligible households whose needs are not met by the market. Eligibility is determined with regard to local incomes and local house prices. Affordable housing should include provisions to remain at an affordable price for future eligible households or for the subsidy to be recycled for alternative affordable housing provision. A full definition is available in the NPPF (see below).

Brownfield Site – See Previously Developed Land.

Conservation Area - An area of special architectural or historic interest, the character or appearance of which is preserved by local planning policies and guidance.

Department for Levelling Up, Housing and Communities (DLUHC) - is the Government department with responsibility for planning, housing, urban regeneration and local government . Previously known as the Ministry for Housing, Communities and Local Government (MHCLG) and, prior to that, the Department for Communities and Local Government (DCLG).

Development Plan – For Over Hulton, this includes the adopted Bolton Core Strategy, Allocations Plan and Policies Map, and any future adopted Local Plan which may replace it, and Neighbourhood Development Plans which are used to determine planning applications.

Evidence base - The background information that any Development Plan Document is based on and is made up of studies on specific issues, such as housing need for example.

Greenfield site - Land where there has been no previous development, often in agricultural use

Green-space - Those parts of an area which are occupied by natural open space, parkland, woodland, sports fields, gardens, allotments and the like.

Heritage Asset – A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage assets include designated assets (e.g.: listed buildings) and assets identified by the local planning authority, which may include a local list of assets.

Housing Associations / Registered Social Landlords / Registered Providers – Not-for-profit organisations providing homes mainly to those in housing need

Independent Examination - An assessment of a proposed Neighbourhood Plan carried out by an independent person to consider whether a Neighbourhood Development Plan conforms with the relevant legal requirements.

Infill Development – Small scale development filling a gap within an otherwise built up frontage.

Infrastructure – Basic services necessary for development to take place, for example, roads, electricity, sewerage, water, education and health facilities.

Listed Building – Building of special architectural or historic interest. Listed buildings are graded I, II or II*, with grade I being the highest. Listing includes the interior as well as the exterior of the building.

Local Plan – The Plan for future development of the local area, drawn up by the local planning authority. This forms part of the Development Plan.

Local Planning Authority (LPA) - Local government body responsible for formulating planning policies and controlling development; a district council, metropolitan council, county council, a unitary authority or national park authority. For Over Hulton this is Bolton Metropolitan Borough Council.

Made – Terminology used in neighbourhood planning to indicate a Plan has been adopted.

National Planning Policy Framework (NPPF) – Sets out the Government’s planning policies for England and how these are expected to be applied. The current version of the NPPF was published in 2021.

Neighbourhood Development Plan (NDP) – A plan prepared by a Parish Council or Neighbourhood Forum for a particular Neighbourhood Area, which includes land use topics. Once made this forms part of the Development Plan.

Outline Application – A general application for planning permission to establish that a development is acceptable in principle, subject to subsequent approval of detailed matters. Does not apply to changes of use.

Permitted Development – Comprises certain categories of minor development as specified in the General Permitted Development Order, which can be carried out without having first to obtain specific planning permission.

Planning Permission - Formal approval granted by a council (e.g. Bolton Metropolitan Borough Council) in allowing a proposed development to proceed.

Previously Developed Land - Land which is or was occupied by a permanent structure, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed) and any associated fixed surface infrastructure. This excludes: land that is or has been occupied by agricultural or forestry buildings; land that has been developed for minerals extraction or waste disposal by landfill purposes where provision for restoration has been made through development control procedures; land in built-up areas such as private residential gardens, parks, recreation grounds and allotments; and land that was previously-developed but where the remains of the permanent structure or fixed surface structure have blended into the landscape in the process of time.

Public Open Space - Open space to which the public has free access and which fulfils, or can fulfil, a recreational or non-recreational role (for example, amenity, ecological, educational, social or cultural uses).

Public Realm – Those parts of a city, town or village, whether publicly or privately owned, which are available for everyone to use. This includes streets, square and parks.

Public Right of Way (PROW) – Paths on which the public has a legally protected right to pass and re-pass.

Registered Social Landlords (RSL) – See Housing Associations

Section 106 Agreement – Planning obligation under Section 106 of the Town & Country Planning Act 1990, secured by a local planning authority through negotiations with a developer to offset the public cost of permitting a development proposal.

Settlement Development Limits Boundary – Settlement or development boundaries (village envelopes) seek to set clear limits to towns and villages. They are designed to define the existing settlement and to identify areas of land where development may be acceptable in principle, subject to other policies and material planning considerations.

Soundness – The soundness of a statutory local planning document is determined by the planning inspector against three criteria: whether the plan is justified (founded on robust and credible evidence and be the most appropriate strategy), whether the plan is effective (deliverable, flexible and able to be monitored), and whether it is consistent with national and local planning policy.

Stakeholder – People who have an interest in an organisation or process including residents, business owners and national organisations and government departments

Sustainable Communities – Places where people want to live and work, now and in the future.

Sustainable Development – An approach to development that aims to allow economic growth without damaging the environment or natural resources. Development that meets the needs of the present without compromising the ability of future generations to meet their own needs.

Sustainability Appraisal – An appraisal of the economic, environment and social effects of a Plan to allow decisions to be made that accord with sustainable development.

Urban Design – The art of making places. It involves the design of buildings, groups of buildings, spaces and landscapes, in villages, towns and cities, to create successful development.

Use Classes Order – The Town and Country Planning (Use Classes) (Amendment) (England) regulations 2020 puts uses of land and buildings into various categories known as ‘Use Classes’. These regulations came into force on 1st September 2020 and effectively nullify the former use class definitions used within the Town and Country Planning (Use Classes) Order 1987.

It is generally the case that you will need planning permission to change from one use class to another, although there are exceptions where the legislation does allow some changes between uses. It should be noted that the recent regulation changes led to former Use Class A (shops, financial and professional services and food and drink establishments) becoming part of the new Use Class E.

B2 use class: Refers to general industry

B8 use class: Refers to storage and distribution

C1, 2, 2A, 3, 4 use class: Refers to hotels and residential institutions, secure residential institutions, dwellings and House in Multiple Occupations (HMOs)

E use class: Refers to shops, restaurants, financial and professional services, indoor sport, recreation or fitness (not involving motorised vehicles or firearms, health or medical services, creche, nursery or day centre principally to visiting members of the public, an office, research and development, or any industrial process that can be carried out in any residential area without detriment to amenity.

Image credits

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OVER HULTON NEIGHBOURHOOD PLAN

2021 – 2037

Submission Version

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